

Sheet Number	Sheet Name	Scale	Current Revision	Current Revision Description	Current Revision Date
0-0-General					
A0-01	Cover Sheet & Drawing List	N/A	3	BUILDING CONSENT RFIs	28/06/18
A0-02	Drawing Standards	N/A	1	FOR CONSTRUCTION	22/02/18
A0-04	Wall types	N/A	2	BUILDING CONSENT RFIs	18/05/18
0-2-Demolition					
A0-21	Floor Plans - Existing	1:50 / 1:100	2	BUILDING CONSENT RFIs	18/05/18
0-3-Site Plans					
A0-30	Site Plan - Proposed	1:100 / 1:200	5	BUILDING CONSENT RFIs	28/06/18
1-0-Floor Plans					
A1-01	Level 0 Plan - Proposed	1:50 / 1:100	3	BUILDING CONSENT RFIs	28/06/18
A1-02	Level 1 Plan - Proposed	1:50 / 1:100	3	BUILDING CONSENT RFIs	28/06/18
A1-03	Roof Plan - Proposed	1:50 / 1:100	3	BUILDING CONSENT RFIs	28/06/18
A1-04	L0 Slab Plan, L1 Framing Plan	1:50 / 1:100	3	BUILDING CONSENT RFIs	28/06/18
1-1-Reflected Ceiling Plans					
A1-11	Reflected Ceiling/Lighting Plan	1:50 / 1:100	4	BUILDING CONSENT RFIs	28/06/18
2-0-Sections					
A2-01	Sections - Proposed	1:50 / 1:100	3	BUILDING CONSENT RFIs	28/06/18
A2-02	Sections - Proposed	1:50 / 1:100	3	BUILDING CONSENT RFIs	28/06/18
3-0-Elevations					
A3-01	Elevations - North Proposed	1:50 / 1:100	3	BUILDING CONSENT RFIs	28/06/18
A3-02	Elevations - South Proposed	1:50 / 1:100	3	BUILDING CONSENT RFIs	28/06/18
4-0-Section Details					
A4-01	Weatherboard details	1:5 / 1:10	4	BUILDING CONSENT RFIs	28/06/18
A4-02	Brick Veneer details	1:5 / 1:10	2	BUILDING CONSENT RFIs	18/05/18
A4-03	Floor details	1:5 / 1:10	3	BUILDING CONSENT RFIs	20/06/18
A4-04	Roof Details	1:5 / 1:10	2	BUILDING CONSENT RFIs	18/05/18
A4-05	Roof Details	1:5 / 1:10	4	BUILDING CONSENT RFIs	28/06/18
A4-07	Flashing Detail	1:5 / 1:10	2	BUILDING CONSENT RFIs	28/06/18
6-0-Stair Details					
A6-01	Staircase	1:5, 1:25 / 1:10, 1:50	2	BUILDING CONSENT RFIs	18/05/18
10-0-Schedules					
A10-01	Window + Door Schedule	1:50 / 1:100	2	BUILDING CONSENT RFIs	18/05/18



CONSTRUCTION

issue	amendment	date
1	FOR CONSTRUCTION	22/02/18
2	BUILDING CONSENT RFIs	18/05/18
3	BUILDING CONSENT RFIs	28/06/18

checked	Checker	scale	(A1)	(A3)	1/2 A1
drawn	Author	project no	1601		

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project	Maskell Street
drawing	Cover Sheet & Drawing List
28/06/2018 4:41:35 p.m.	issue
drawing no.	A0-01
issue	3

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 Auckland 1740, New Zealand
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 auckland@spacedivision.com
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66 MASKELL STREET, ST HELIERS, AUCKLAND 1071
LOT 26 DP 16195

AUCKLAND UNITARY PLAN OPERATIVE IN PART

RESIDENTIAL ZONE Mixed Housing Suburban
EXPOSURE ZONE C
CLIMATE ZONE 1
EARTHQUAKE ZONE 1

LEE ZONE
RAINFALL INTENSITY (RANGE) 90-100
WIND ZONE Low

SITE AREA 1199m²
66(Front site) 549m²
1-2/42 (Rear site) 650m²

MAXIMUM HEIGHT Permitted 8m - requires RC

HEIGHT IN RELATION TO BOUNDARY
Alternative HIRB - complies
Building within 20m of site frontage (refer figure H4.6.6.1)

YARDS
Front 3m - complies
Side 1m - requires RC
Rear 1m - complies

MAXIMUM BUILDING COVERAGE
Permitted (40% max of 1199) 479.6m²
Existing 429m²
66+garage 198m²
1-2/42 231m²

Proposed 422m² - complies
66 191m²
1-2/42 231m²

MAXIMUM IMPERVIOUS AREA
Permitted (60% max of 1199) 719.4m²
Existing 766m²
66 533m²
1-2/42 233m²

Proposed 728m² - requires RC
66 495m²
1-2/42 233m²

MINIMUM LANDSCAPED AREA
Permitted (40% min of 1199) 479.6m²
Existing 433m²
66 248m²
1-2/42 185m²

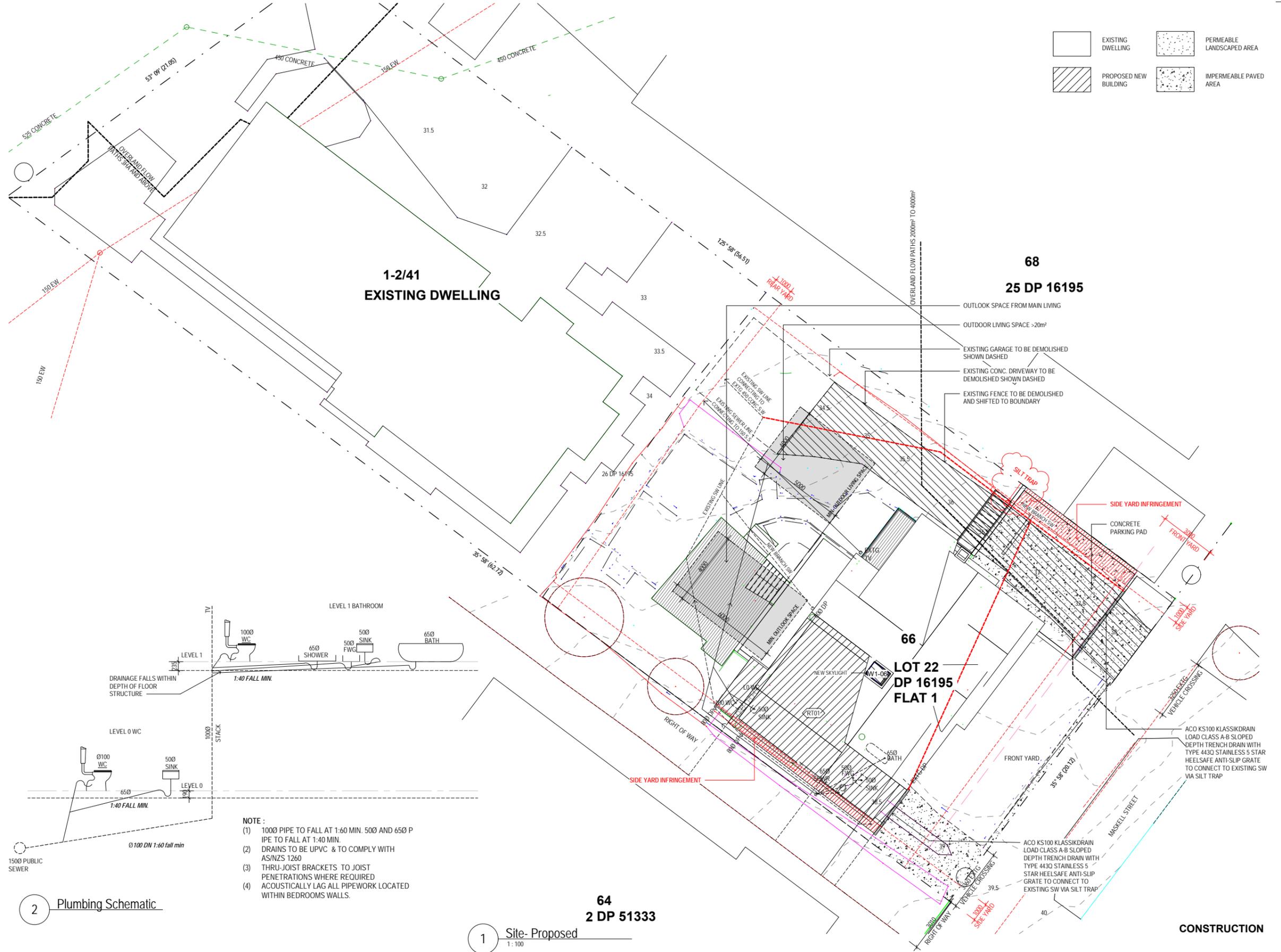
Proposed 472m² - requires RC
66 287m²
1-2/42 185m²

MINIMUM FRONT YARD LANDSCAPING
Permitted (50% min of 60) 30m²
Proposed 30m² - complies

OUTLOOK SPACE
Main living (Min. 6m in depth and 4m in width) - complies
All other habitable rooms (Min. 1m in depth and 1m in width) - complies

OUTDOOR LIVING SPACE
Permitted Min. 20m² - complies

NOTE:
(1) LEVELS AND SITE BOUNDARIES FROM S.A & L.M KUSABS SURVEYORS DRAWING MA1318

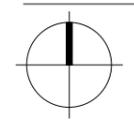


issue	amendment	date
1	FOR CONSTRUCTION	22/02/18
2	BUILDING CONSENT RFI#	18/05/18
3	BUILDING CONSENT RFI#	29/05/18
4	BUILDING CONSENT RFI#	20/06/18
5	BUILDING CONSENT RFI#	28/06/18

2 Plumbing Schematic

- NOTE:
- 1000 PIPE TO FALL AT 1:60 MIN. 500 AND 650 PIPE TO FALL AT 1:40 MIN.
 - DRAINS TO BE UPVC & TO COMPLY WITH AS/NZS 1260
 - THRU-JOIST BRACKETS TO JOIST PENETRATIONS WHERE REQUIRED
 - ACOUSTICALLY LAG ALL PIPEWORK LOCATED WITHIN BEDROOMS WALLS.

1 Site-Proposed
1:100



checked _____ scale (A1)As (A3) 1/2 A1
Checker _____ indicated _____
drawn _____ project no _____
Author _____ 1601

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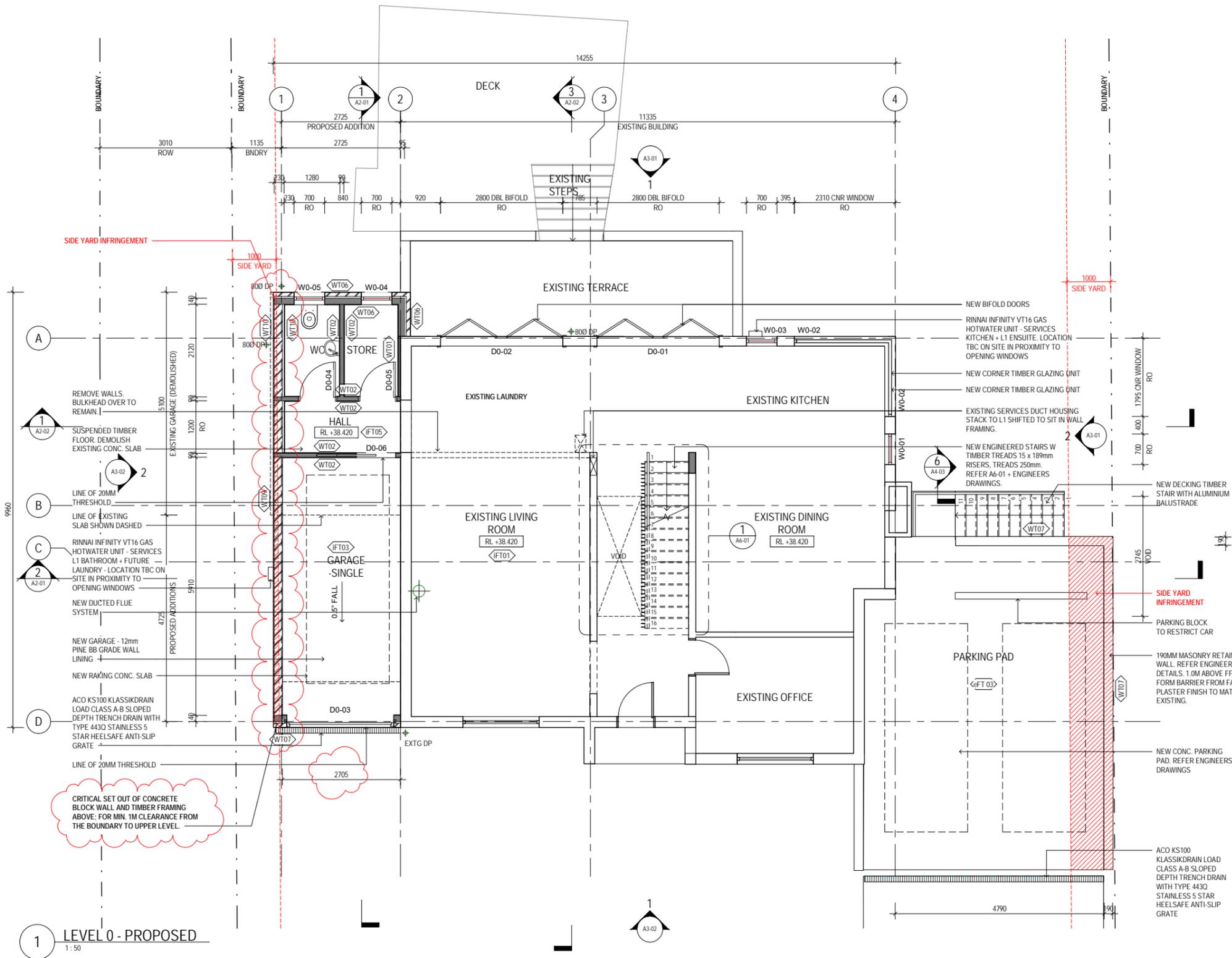
project Maskell Street
drawing Site Plan - Proposed
28/06/2018 4:41:36 p.m.
drawing no. _____ issue _____

A0-30 5

CONSTRUCTION
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T (64 9) 948 8888
auckland@spacedivision.com
www.spacedivision.com

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CRITICAL SET OUT OF CONCRETE BLOCK WALL AND TIMBER FRAMING ABOVE, FOR MIN. 1M CLEARANCE FROM THE BOUNDARY TO UPPER LEVEL.

- NOTES**
- WALL FRAMING SETOUT TO ALLOW FOR NEW WALLS ON CAVITY MEETING EXISTING WALL WITHOUT CAVITY TO ACHIEVE CLADDING ALIGNMENT. REFER TO DETAIL A4-01-06
- GENERAL NOTES:**
(REFER ALSO TO LARGE SCALE DETAILS)
- ZONE C EXPOSURE CLASS - ALL STRUCTURAL FIXINGS SHELTERED AND EXPOSED TYPE 304 STAINLESS STEEL.**
- HIGH WIND ZONE FIXINGS**
- WALLS**
- (1) **BOTTOM PLATES** - FIX TIMBER BOTTOM PLATE OF EXTERNAL AND BRACED WALLS TO FLOOR FRAMING WITH 3/90x3.15 POWER-DRIVEN NAILS AT 600 CTRS. FIX TIMBER BOTTOM PLATE OF INTERNAL NON-BRACED WALLS TO FLOOR FRAMING WITH 1/90x3.15 POWER-DRIVEN NAILS. (AS PER TABLE 8.19 NZS3604). CONCRETE SLAB WITH M12 BOLTS, SET NO LESS THAN 75mm INTO CONCRETE (BENT TO PREVENT TURNING) AND 50x50x3mm WASHERS @ 1.2m ctrs ON DPC.
 - (2) **TOP PLATES** - FIX TIMBER TOP PLATES TO STUDS WITH 2/90x3.15 END NAILS AND 2 WIRE DOGS AT 600 CTRS. CAPACITY OF ALTERNATIVE FIXING 4.7kN. (AS PER TABLE 8.18 NZS3604).
 - (3) **LINTELS** - FIX TIMBER LINTELS TO TRIMMING STUDS WITH 25x1mm STRAP WITH 6/30x2.5mm NAILS TO BOTH LINTEL AND STUD, OR A 7.5kN (TENSION) CONNECTION. DOUBLING STUD TO BE CONTINUOUS BETWEEN THE BOTTOM PLATE AND THE UNDERSIDE OF THE LINTEL. FIX STUDS TOGETHER WITH 100x3.75mm NAILS @ 600 CRS WITH 2/100 x 3.75mm IMMEDIATELY UNDER THE LINTEL. AT JOIST/BOTTOM PLATE/STUD CONNECTION FIX WITH 25x1mm STRAP WITH 6/30x2.5mm NAILS INTO BOTH BLOCKING AND STUD OR A 7.5kN (TENSION) CONNECTION. (AS PER FIG 8.12 NZS3604).
 - (4) **DOUBLE STUDS** - FIX DOUBLE STUDS TO BOTTOM PLATE WITH 2 x TYLOK 214 NAIL PLATES EACH SIDE.
 - (5) **DWANGS** - FIX DWANGS TO STUD WITH 2/75x3.06 SKEWED POWER-DRIVEN NAILS OR 2/90x3.15 END-NAILED POWER-DRIVEN NAILS. (AS PER TABLE 8.19 NZS3604).
- ROOF**
- (6) **RAFTERS** - FIX RAFTERS WITH TYPE F 2/90 x 3.15 SKEW NAILS & STRAP FIXING OR 7.0kN ALTERNATIVE FIXING CAPACITY.
 - (7) **TILE BATTENS** - FIX TIMBER TILE BATTENS 50x50mm @ 370 CRS THROUGH RAFTERS. FIX WITH 1/10g SELF-DRILLING SCREW, 100mm LONG, OR 2.4kN ALTERNATIVE FIXING CAPACITY.
- ROOF INSULATION**
- (9) TO ALL SKILLION ROOFS A MINIMUM 25mm VENTILATION GAP MUST BE MAINTAINED BETWEEN THE UNDERSIDE OF THE BUILDING PAPER AND TOP OF INSULATION.

Interior Floor Areas			
Level	Mark	Phase Created	Area
LEVEL 0	iFT01	Existing	105 m ²
LEVEL 0	iFT03	New Construction	18 m ²
LEVEL 0	iFT05	New Construction	10 m ²
LEVEL 1	iFT02	Existing	82 m ²
LEVEL 1	iFT06	New Construction	24 m ²
Total Floor Area			238 m ²

Exterior Floor Areas				
Comments	Level	Mark	Phase Created	Area
L0 Terrace	LEVEL 0	eFT01	Existing	16 m ²
Parking Pad	LEVEL 0	eFT03	New Construction	40 m ²
L0 Deck	LEVEL 0	eFT-04	Existing	28 m ²
L1 Terrace	LEVEL 1	eFT02	Existing	8 m ²
Total Floor Area				92 m ²

CONSTRUCTION

issue	amendment	date
1	FOR CONSTRUCTION	22/02/18
2	BUILDING CONSENT RF#s	18/05/18
3	BUILDING CONSENT RF#s	28/06/18



checked _____ scale (A1) 1 : 50 (A3) 1/2 A1
 Checker _____
 drawn _____ project no 1601
 Author _____

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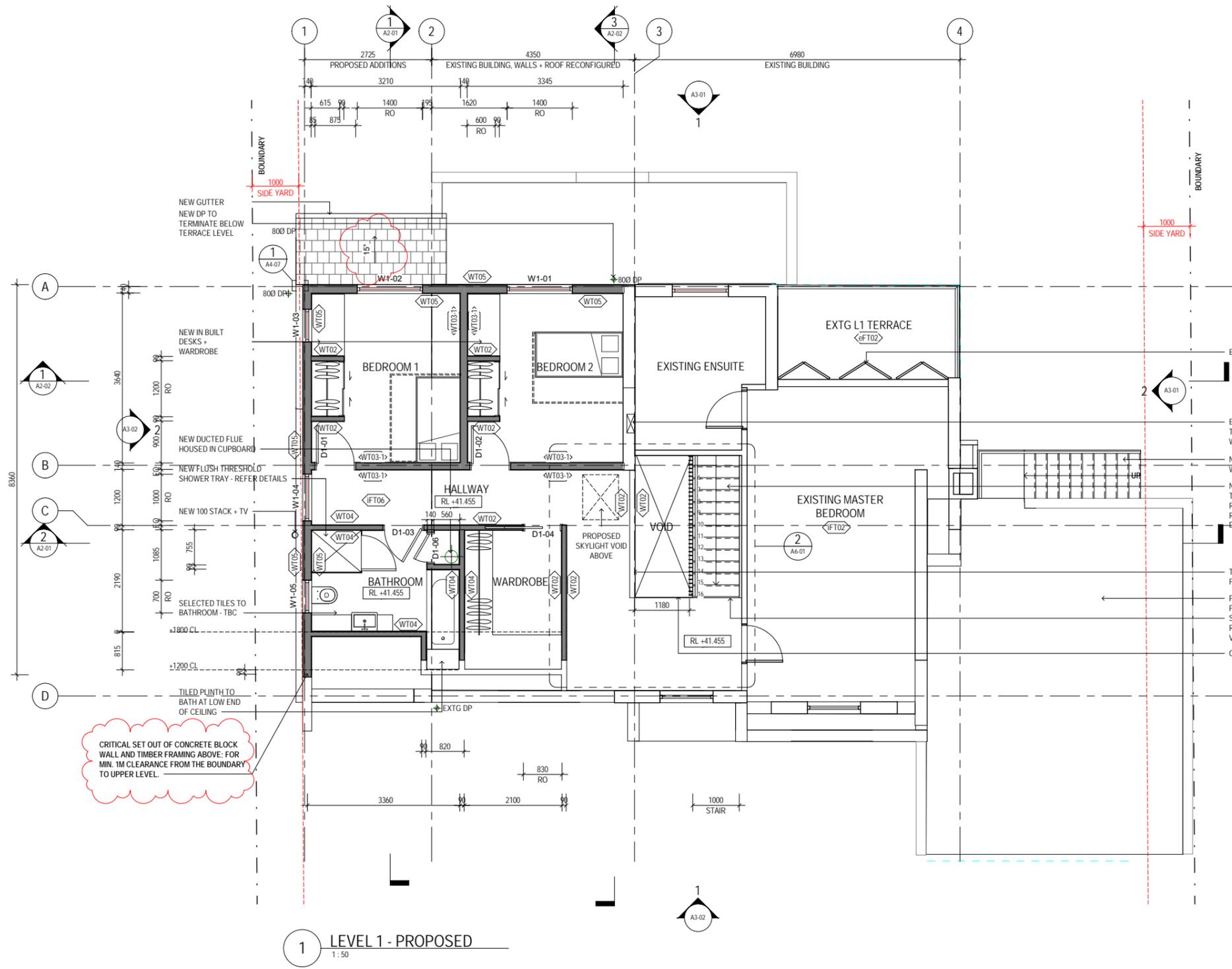
project Maskell Street
 drawing Level 0 Plan - Proposed
 28/06/2018 4:41:38 p.m.
 drawing no. _____ issue _____

A1-01 **3**

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 PO Box 25851
 Auckland 1740, New Zealand
 T (64 9) 948 8888
 auckland@spacedivision.com
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1 LEVEL 1 - PROPOSED
1:50

NOTES

- WALL FRAMING SETOUT TO ALLOW FOR NEW WALLS ON CAVITY MEETING EXISTING WALL WITHOUT CAVITY TO ACHIEVE CLADDING ALIGNMENT. REFER TO DETAIL A4-01-06

GENERAL NOTES:
(REFER ALSO TO LARGE SCALE DETAILS)

ZONE C EXPOSURE CLASS - ALL STRUCTURAL FIXINGS SHELTERED AND EXPOSED TYPE 304 STAINLESS STEEL.

HIGH WIND ZONE FIXINGS

WALLS

- (1) **BOTTOM PLATES** - FIX TIMBER BOTTOM PLATE OF EXTERNAL AND BRACED WALLS TO FLOOR FRAMING WITH 3/90x3.15 POWER-DRIVEN NAILS AT 600 CTRS. FIX TIMBER BOTTOM PLATE OF INTERNAL NON-BRACED WALLS TO FLOOR FRAMING WITH 1/90x3.15 POWER-DRIVEN NAILS. (AS PER TABLE 8.19 NZS3604). CONCRETE SLAB WITH M12 BOLTS, SET NO LESS THAN 75mm INTO CONCRETE (BENT TO PREVENT TURNING) AND 50x50x3mm WASHERS @ 1.2m c/c ON DPC.
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ROOF

- (6) **RAFTERS** - FIX RAFTERS WITH TYPE F 2/90 x 3.15 SKEW NAILS & STRAP FIXING OR 7.0kN ALTERNATIVE FIXING CAPACITY.
- (7) **TILE BATTENS** FIX TIMBER TILE BATTENS 50x50mm @ 370 CRS THROUGH RAFTERS. FIX WITH 1/10g SELF-DRILLING SCREW, 100mm LONG, OR 2.4kN ALTERNATIVE FIXING CAPACITY.

ROOF INSULATION

- (9) TO ALL SKILLION ROOFS A MINIMUM 25mm VENTILATION GAP MUST BE MAINTAINED BETWEEN THE UNDERSIDE OF THE BUILDING PAPER AND TOP OF INSULATION.

Interior Floor Areas			
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LEVEL 0	iFT03	New Construction	18 m ²
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Total Floor Area			238 m²

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Comments	Level	Mark	Phase Created	Area

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Parking Pad	LEVEL 0	eFT03	New Construction	40 m ²
L0 Deck	LEVEL 0	eFT-04	Existing	28 m ²
L1 Terrace	LEVEL 1	eFT02	Existing	8 m ²
Total Floor Area				92 m²

CONSTRUCTION

Issue	Amendment	Date
1	FOR CONSTRUCTION	22/02/18
2	BUILDING CONSENT RFIs	18/05/18
3	BUILDING CONSENT RFIs	28/06/18



checked _____ scale (A1) 1:50 (A3) 1/2 A1
 drawn _____ project no 1601
 Author _____

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project _____ Maskell Street

drawing _____ Level 1 Plan - Proposed

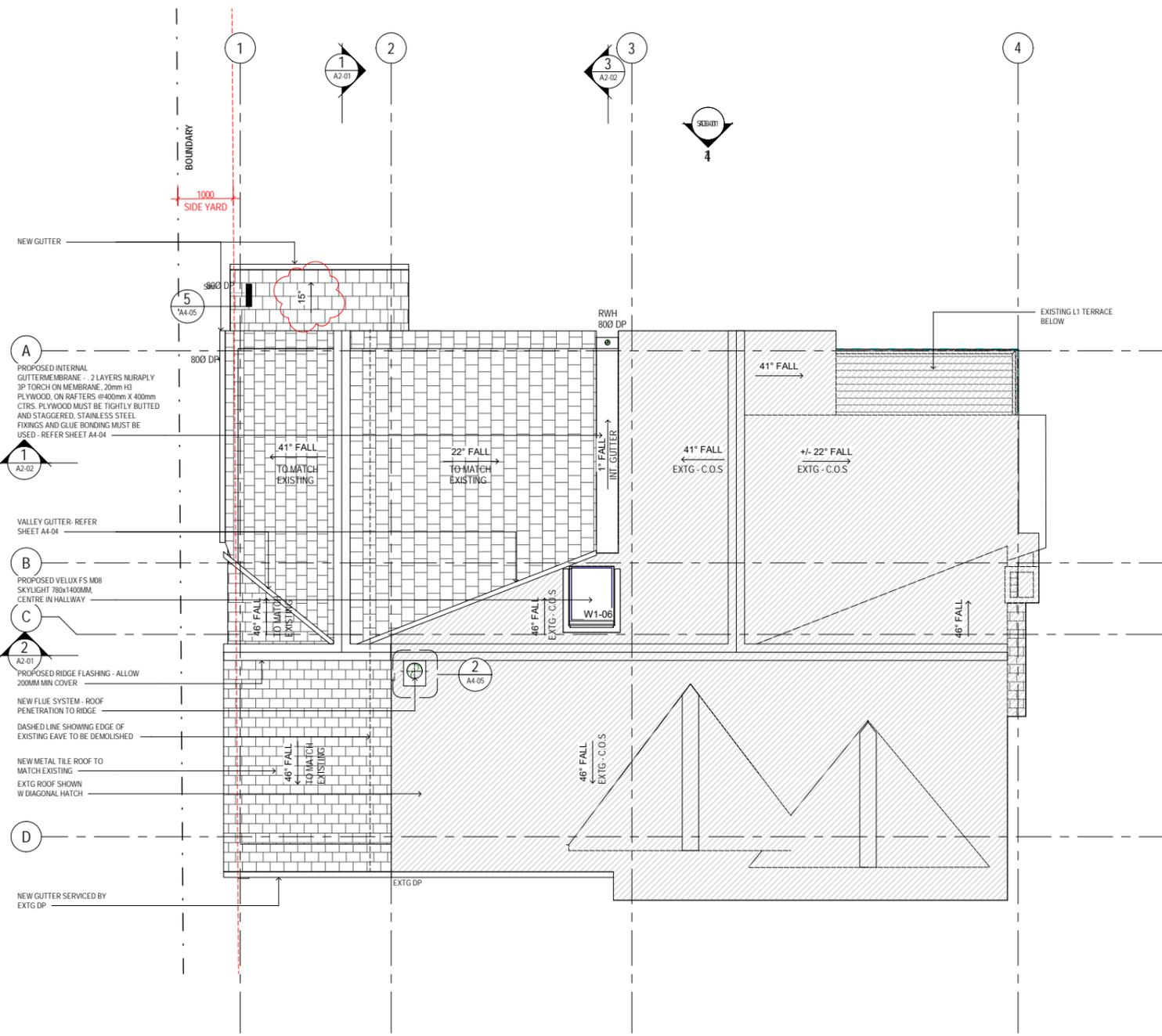
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A1-02 **3**

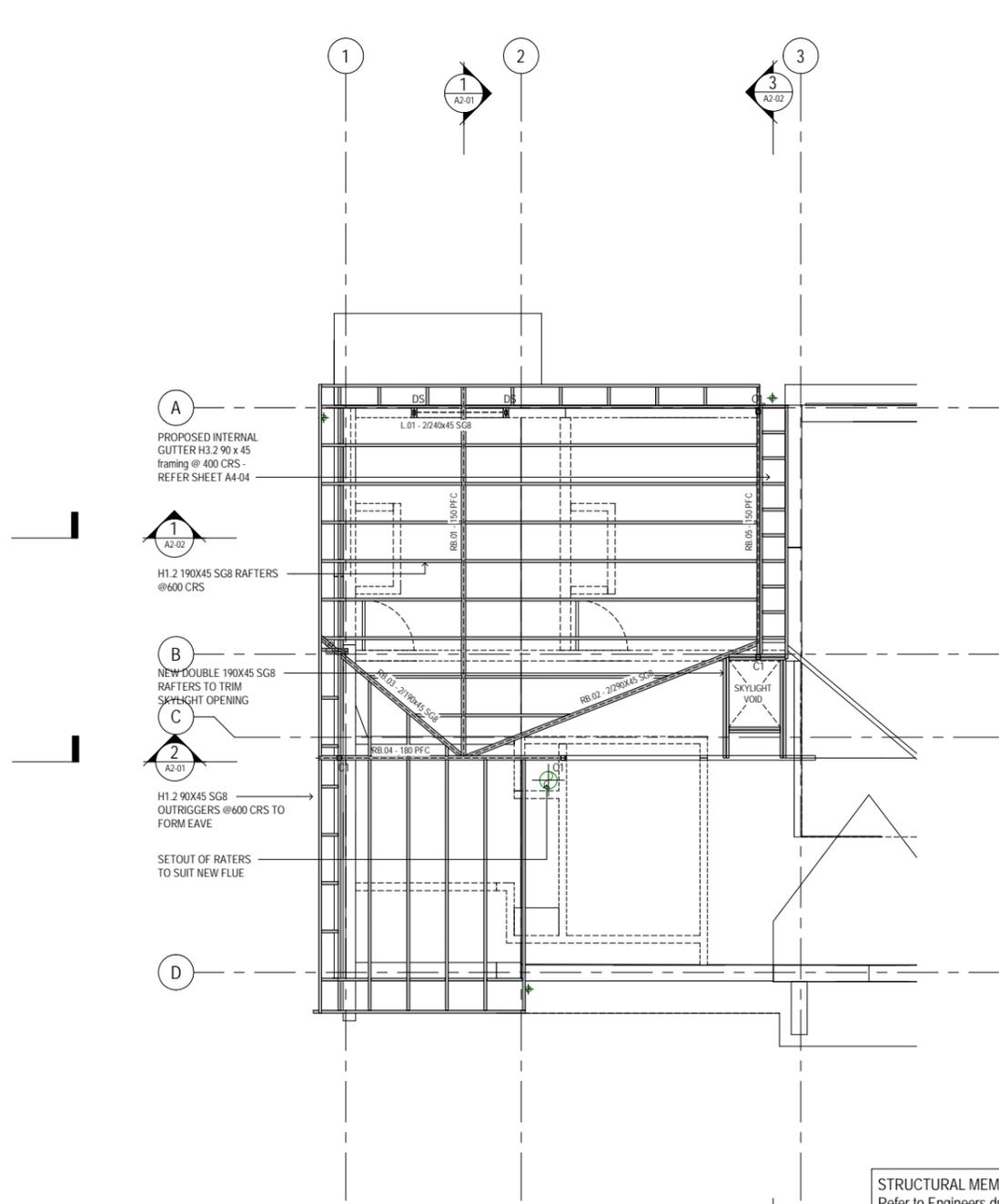
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 PO Box 25851
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 T (64 9) 948 8888
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1 ROOF - PROPOSED
1:50



2 ROOF - FRAMING PLAN
1:50

STRUCTURAL MEMBERS
Refer to Engineers drawings

DS Double SG8 studs
C1 75x5 SHS post below.
C1* 75x5 SHS post above

J1 Existing floor Joists
J2 190x45 SG8 @ 600crs
DJ 2/190 x 45 SG8
Double timber joists

Rafters 190 x 45 SG8 rafters @ 600 c/c
max. unless otherwise indicated

*Lean to roof rafters to 140 x 45 @ 600 c/c

CONSTRUCTION

NOTE: ALL FRAMING PLANS TO BE READ IN CONJUNCTION WITH ENGINEER'S DRAWINGS

issue	amendment	date
1	FOR CONSTRUCTION	22/02/18
2	BUILDING CONSENT RFI#	18/05/18
3	BUILDING CONSENT RFI#	28/06/18

checked _____ scale (A1) 1:50 (A3) 1/2 A1

drawn _____ Checker _____ project no 1601

drawn _____ Author _____ project no 1601

project Maskell Street

drawing Roof Plan - Proposed

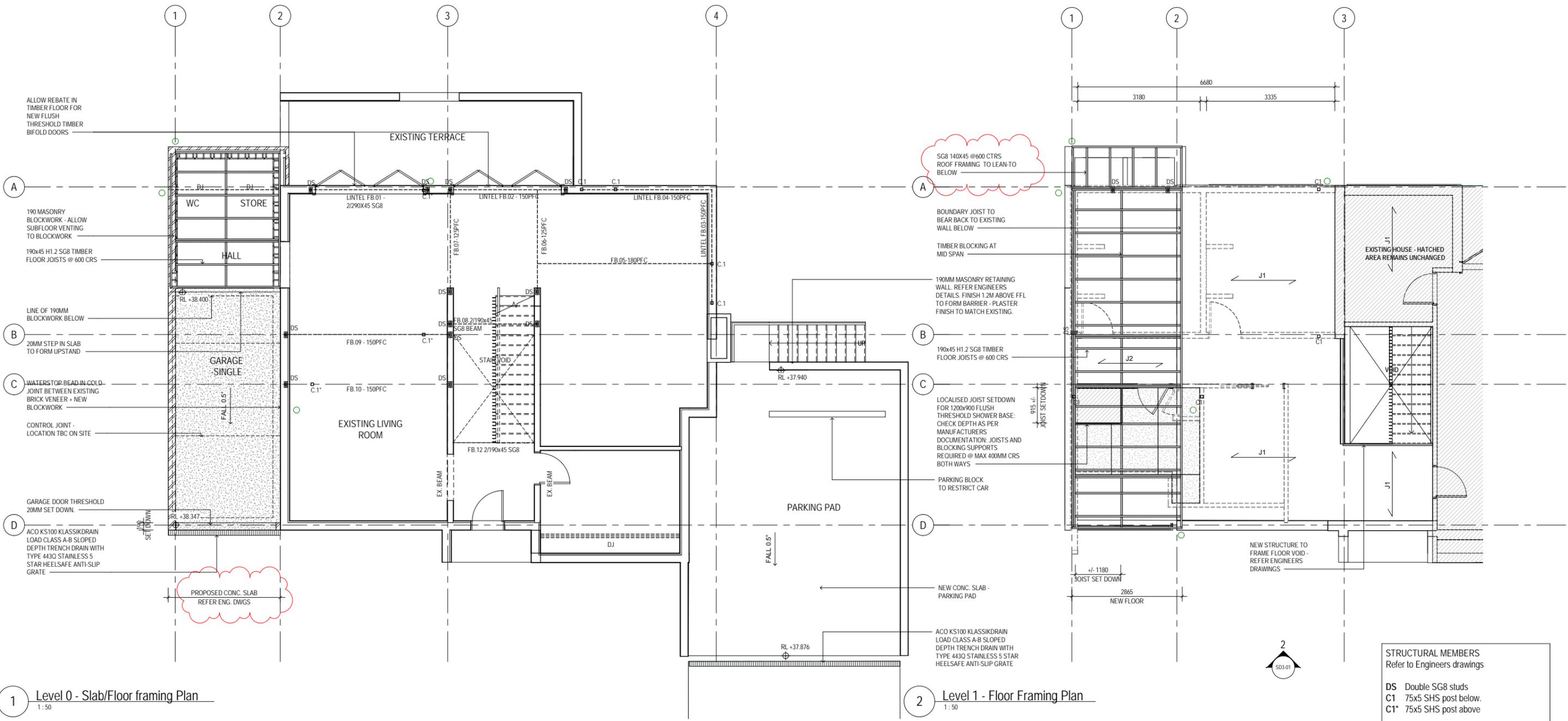
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drawing no. _____

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1 Level 0 - Slab/Floor framing Plan
1:50

2 Level 1 - Floor Framing Plan
1:50

STRUCTURAL MEMBERS
Refer to Engineers drawings

DS Double SG8 studs
C1 75x5 SHS post below.
C1* 75x5 SHS post above

J1 Existing floor Joists
J2 190x45 SG8 @ 600crs
DJ 2/190 x 45 SG8
Double timber joists

Rafters 190 x 45 SG8 rafters @ 600 c/c max.
unless otherwise indicated

*Lean to roof rafters to 140 x 45 @ 600 c/c

CONSTRUCTION

NOTE: ALL FRAMING PLANS TO BE READ IN CONJUNCTION WITH ENGINEER'S DRAWINGS

issue	amendment	date
1	FOR CONSTRUCTION	22/02/18
2	BUILDING CONSENT RFI#	18/05/18
3	BUILDING CONSENT RFI#	28/06/18



checked _____ scale (A1) 1:50 (A3) 1/2 A1
 drawn _____ project no 1601
 Author _____

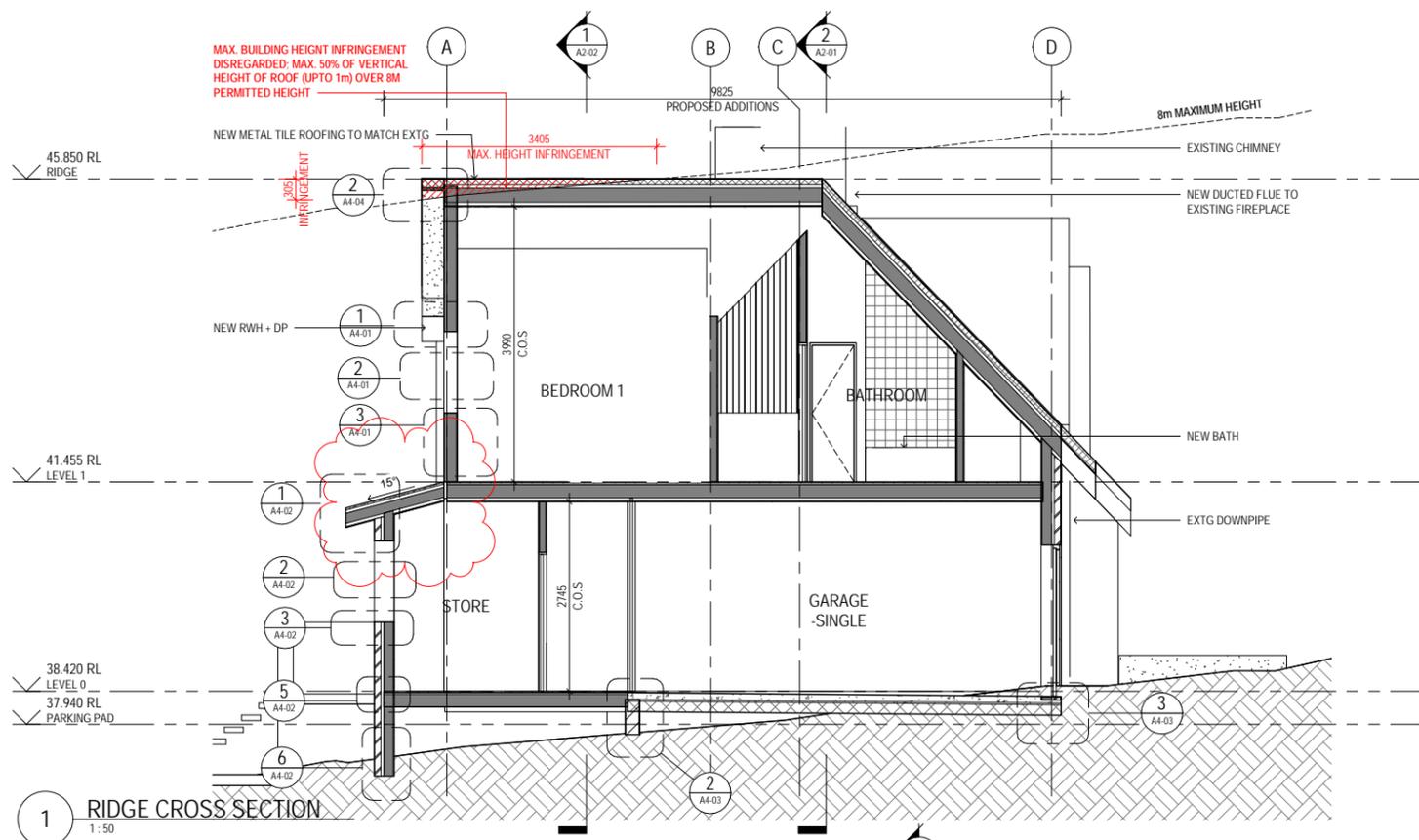
project Maskell Street
 drawing L0 Slab Plan, L1 Framing Plan
 28/06/2018 4:41:42 p.m.
 drawing no. _____ issue _____

A1-04 3

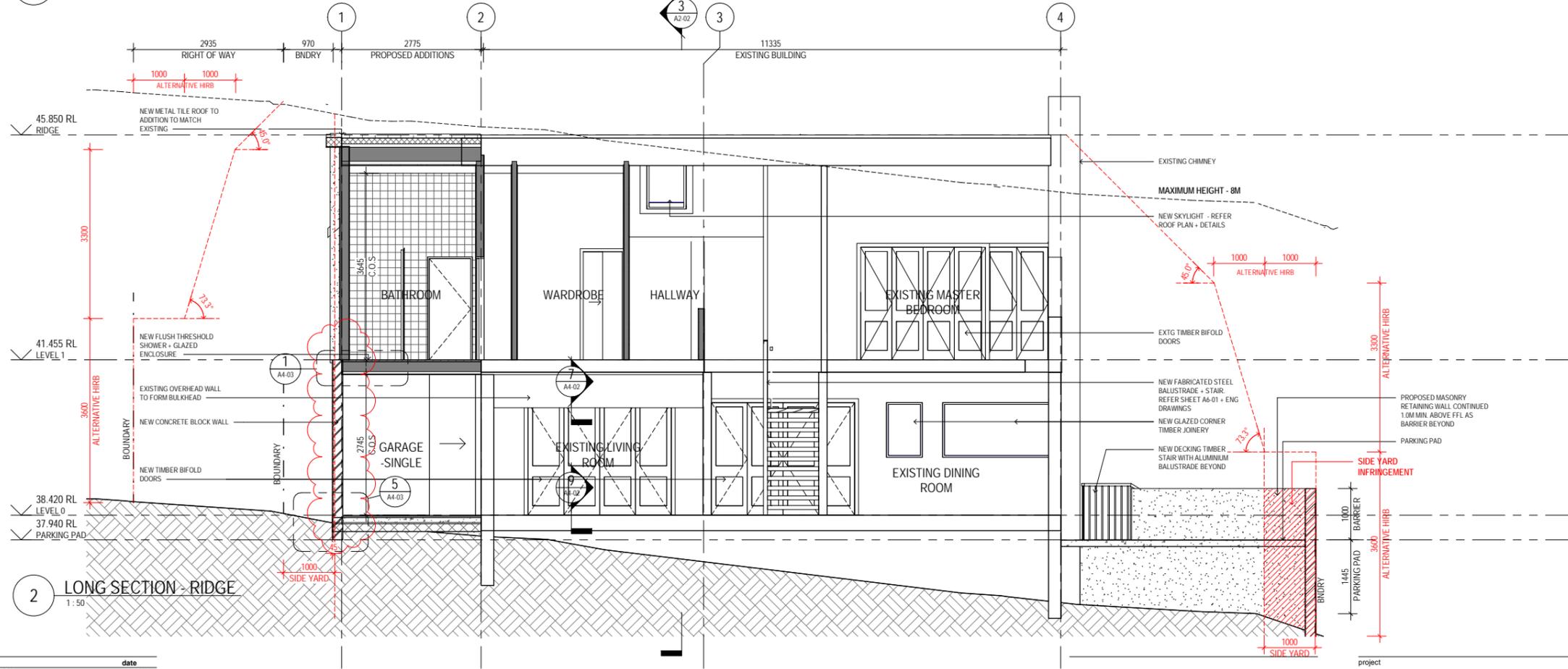
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1 RIDGE CROSS SECTION
1:50



2 LONG SECTION - RIDGE
1:50

issue	amendment	date
1	FOR CONSTRUCTION	22/02/18
2	BUILDING CONSENT RFIs	18/05/18
3	BUILDING CONSENT RFIs	28/06/18

checked Checker scale (A1) 1:50 (A3) 1/2 A1
 drawn Author project no 1601

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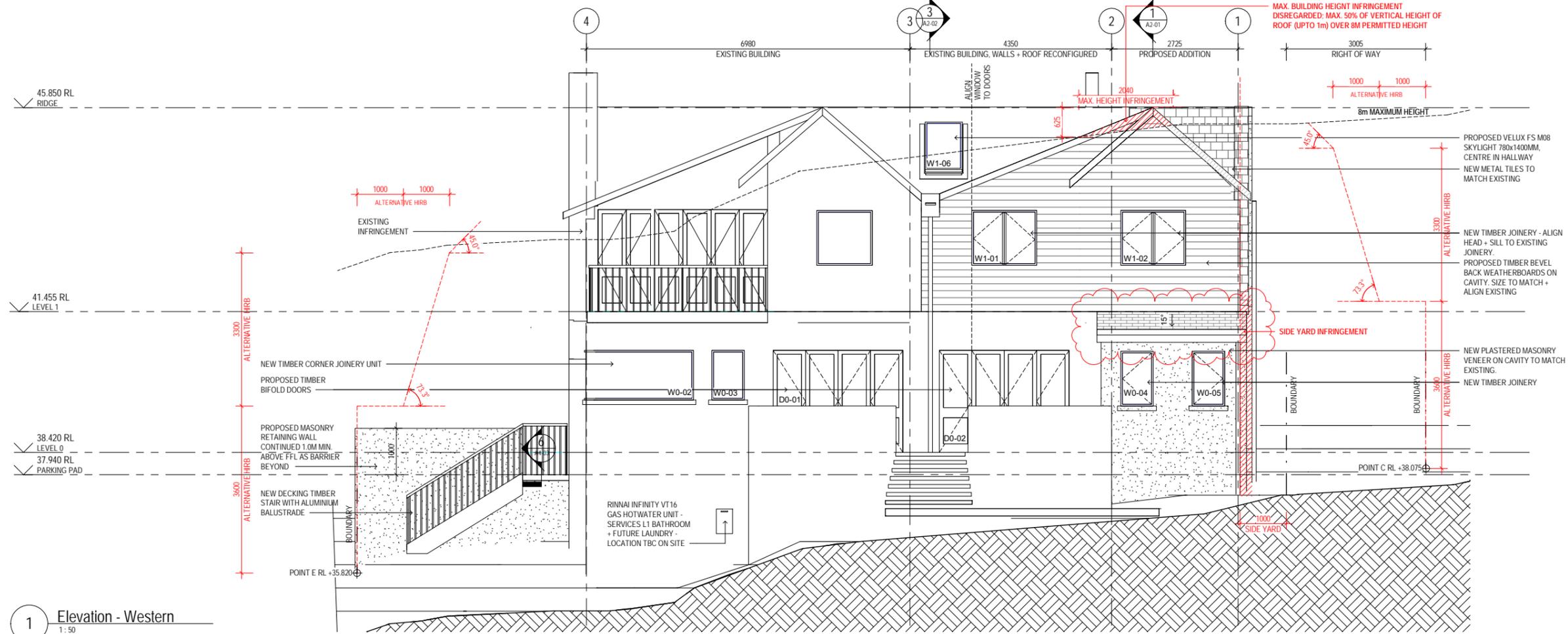
project Maskell Street
 drawing Sections - Proposed
 28/06/2018 4:41:44 p.m. issue
 drawing no. A2-01 3

CONSTRUCTION

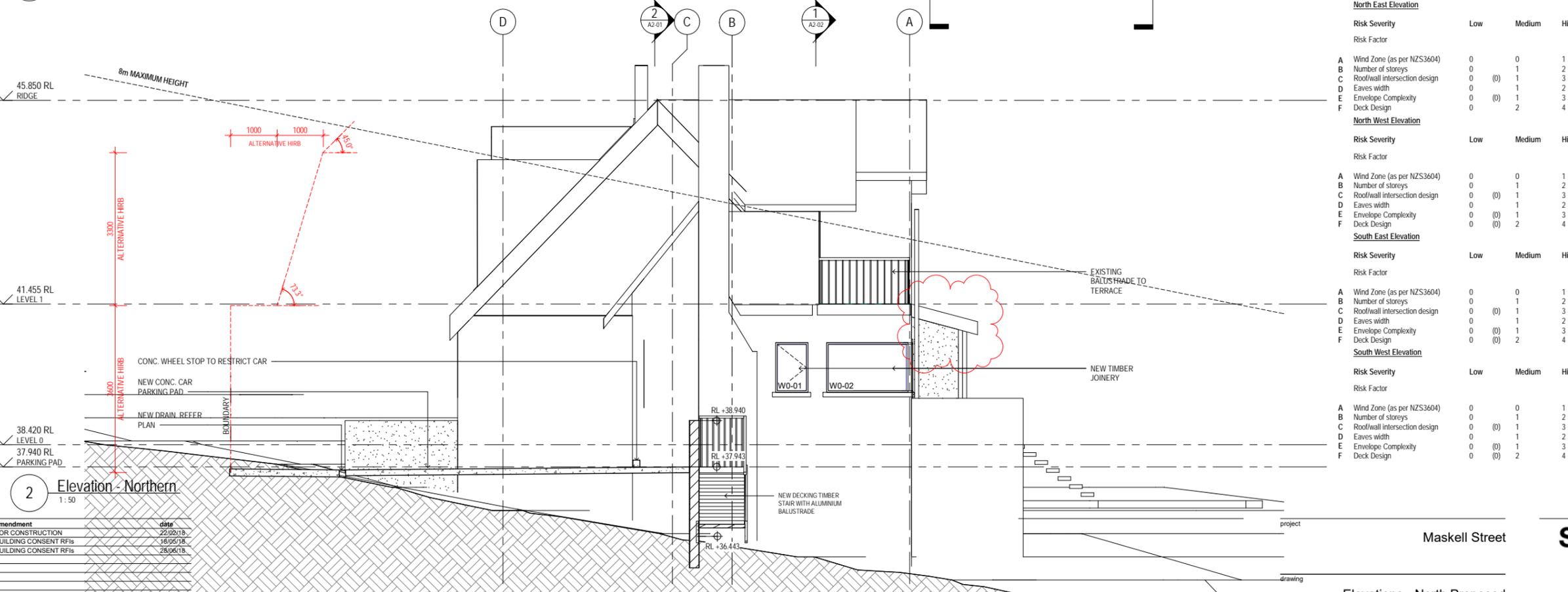
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1 Elevation - Western
1:50



2 Elevation - Northern
1:50

Issue	Amendment	Date
1	FOR CONSTRUCTION	22/02/18
2	BUILDING CONSENT RFIs	18/05/18
3	BUILDING CONSENT RFIs	28/06/18

North East Elevation					
Risk Severity	Low	Medium	High	Very High	Subtotals
Risk Factor					
A Wind Zone (as per NZS3604)	0	0	1	(1) 2	1
B Number of storeys	0	1	2	(2) 4	2
C Roof/wall intersection design	0	(0) 1	3	5	0
D Eaves width	0	1	2	(2) 5	2
E Envelope Complexity	0	(0) 1	3	6	0
F Deck Design	0	2	4	(4) 6	4
					9
North West Elevation					
Risk Severity	Low	Medium	High	Very High	Subtotals
Risk Factor					
A Wind Zone (as per NZS3604)	0	0	1	(1) 2	1
B Number of storeys	0	1	2	(2) 4	2
C Roof/wall intersection design	0	(0) 1	3	5	0
D Eaves width	0	1	2	(2) 5	2
E Envelope Complexity	0	(0) 1	3	6	0
F Deck Design	0	(0) 2	4	6	0
					5
South East Elevation					
Risk Severity	Low	Medium	High	Very High	Subtotals
Risk Factor					
A Wind Zone (as per NZS3604)	0	0	1	(1) 2	1
B Number of storeys	0	1	2	(2) 4	2
C Roof/wall intersection design	0	(0) 1	3	5	0
D Eaves width	0	1	2	(2) 5	2
E Envelope Complexity	0	(0) 1	3	6	0
F Deck Design	0	(0) 2	4	6	0
					5
South West Elevation					
Risk Severity	Low	Medium	High	Very High	Subtotals
Risk Factor					
A Wind Zone (as per NZS3604)	0	0	1	(1) 2	1
B Number of storeys	0	1	2	(2) 4	2
C Roof/wall intersection design	0	(0) 1	3	5	0
D Eaves width	0	1	2	(2) 5	2
E Envelope Complexity	0	(0) 1	3	6	0
F Deck Design	0	(0) 2	4	6	0
					5

CONSTRUCTION

SPACE DIVISION

Space Division Limited
PO Box 25851
Auckland 1740, New Zealand
T (64 9) 948 8888
auckland@spacedivision.com
www.spacedivision.com

Elevations - North Proposed

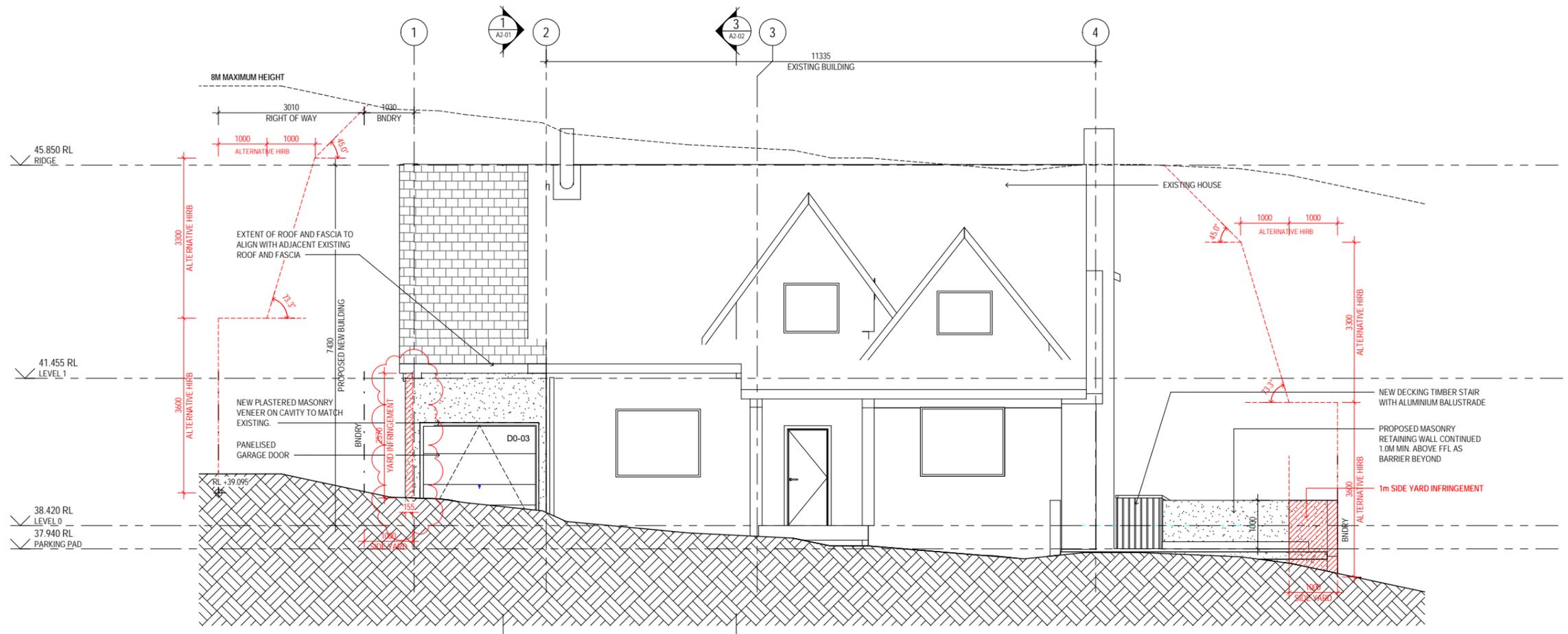
A3-01 3

checked: [] scale: (A1) 1:50 (A3) 1/2 A1
drawn: [] Author: [] project no: 1601

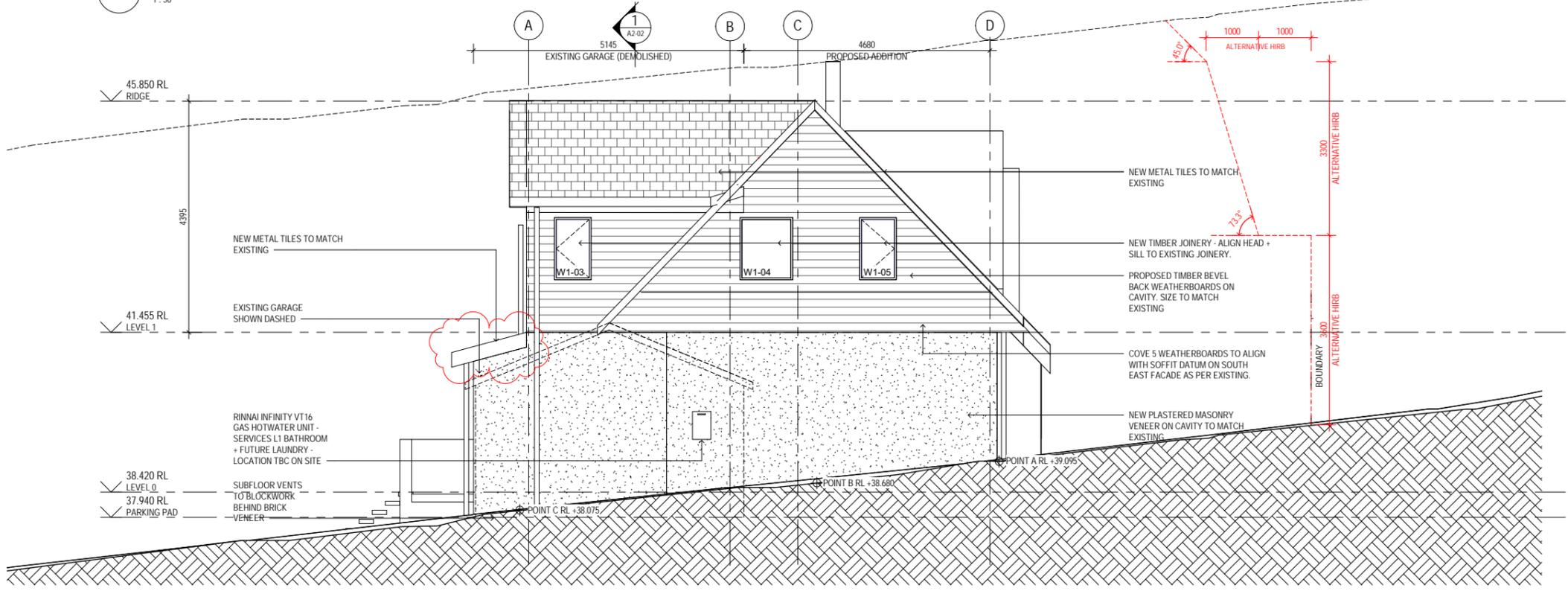
All Drawings to be read in conjunction with Drawing Standards Sheet. Do not scale drawings. Drawings not to be relied upon by any third party or used for any other purpose other than that intended.

28/06/2018 4:41:47 p.m.
drawing no. [] issue []

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1 Elevation - Eastern
1:50



2 Elevation - Southern
1:50

issue	amendment	date
1	FOR CONSTRUCTION	22/02/18
2	BUILDING CONSENT RFIs	18/05/18
3	BUILDING CONSENT RFIs	28/06/18

checked	Checker	scale	(A1) 1:50 (A3) 1/2 A1
drawn	Author	project no	1601

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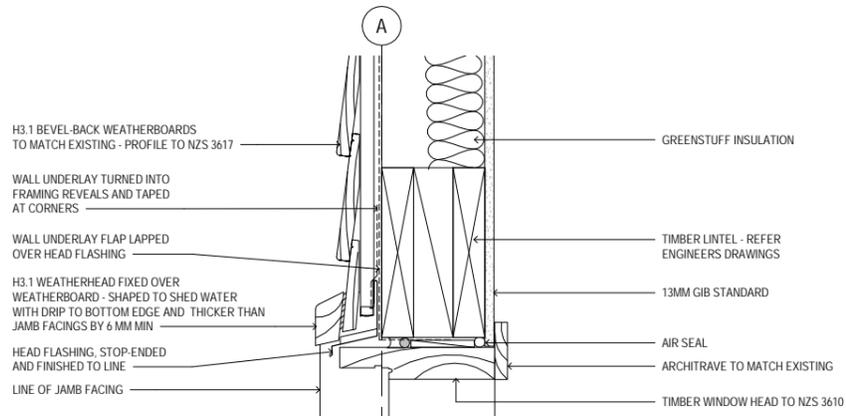
project	Maskell Street
drawing	Elevations - South Proposed
28/06/2018 4:41:48 p.m.	issue
drawing no.	A3-02

CONSTRUCTION

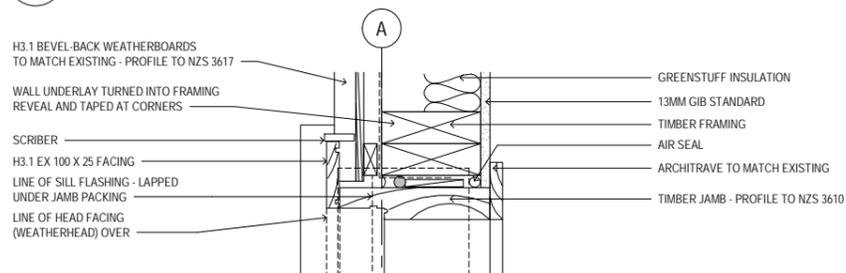
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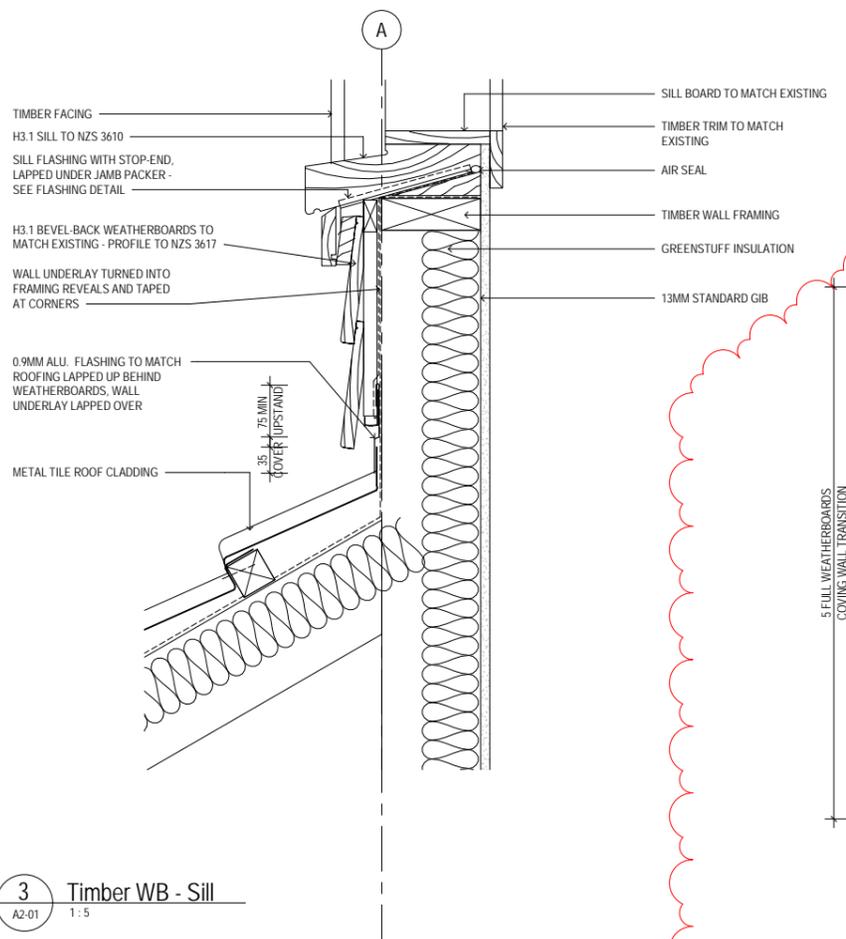
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1 Timber WB - Head
A2-01 1:5

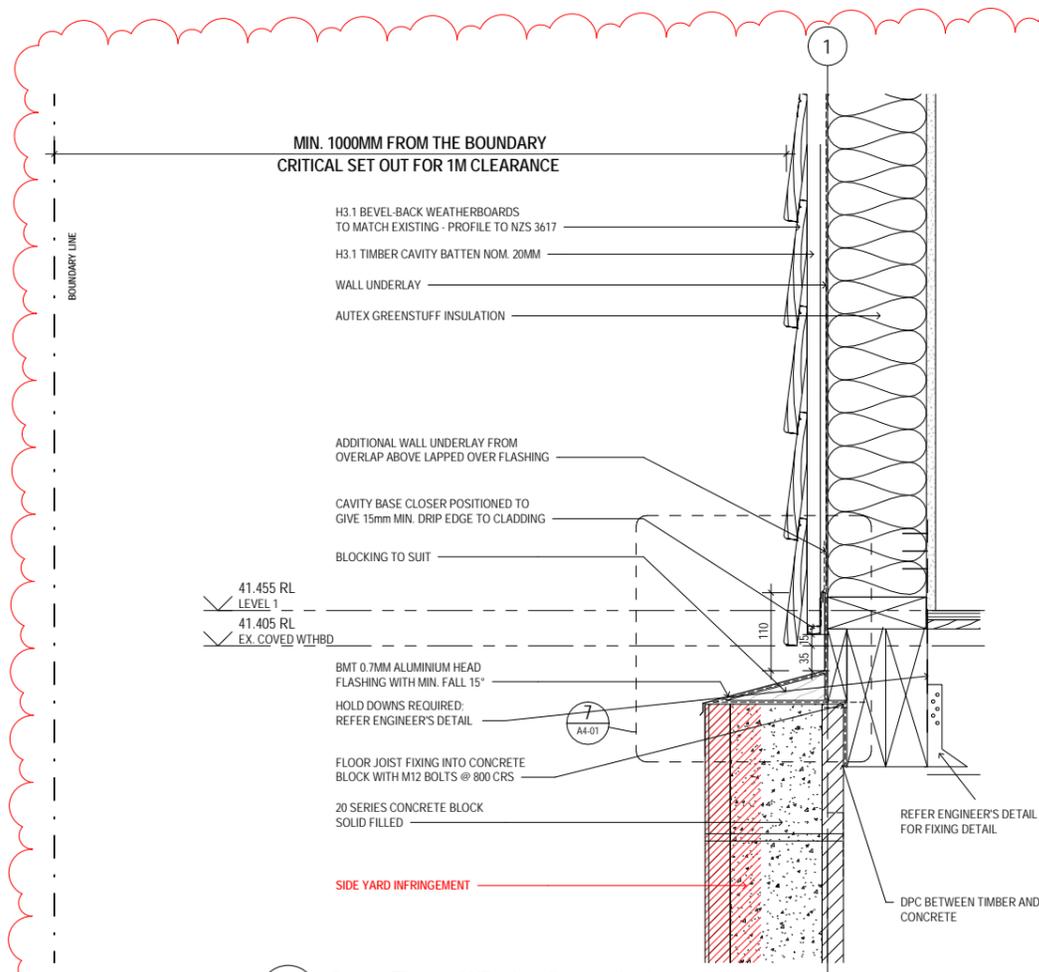


2 Timber WB - Jamb
A2-01 1:5

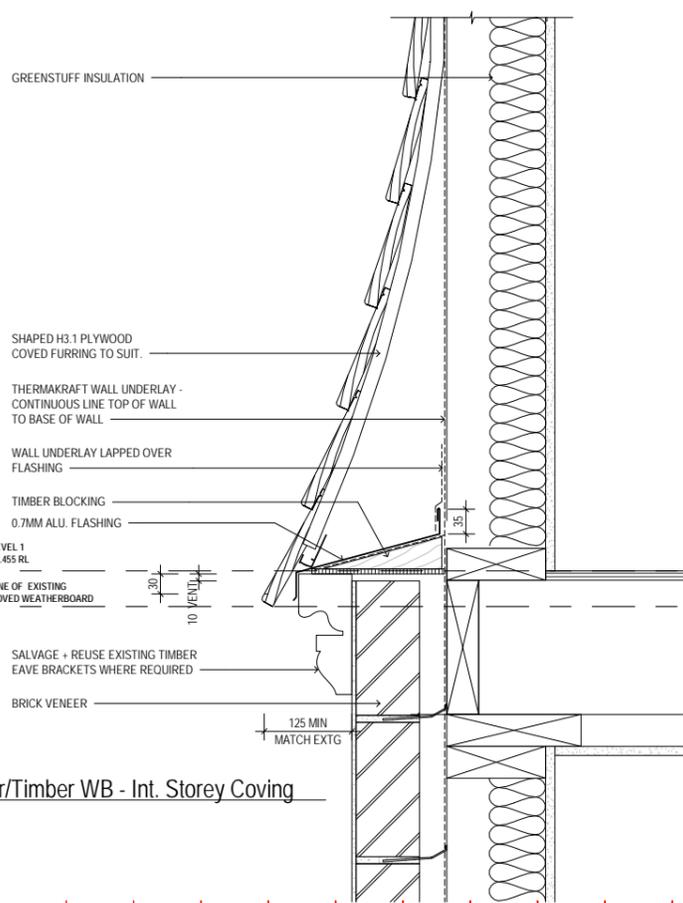


3 Timber WB - Sill
A2-01 1:5

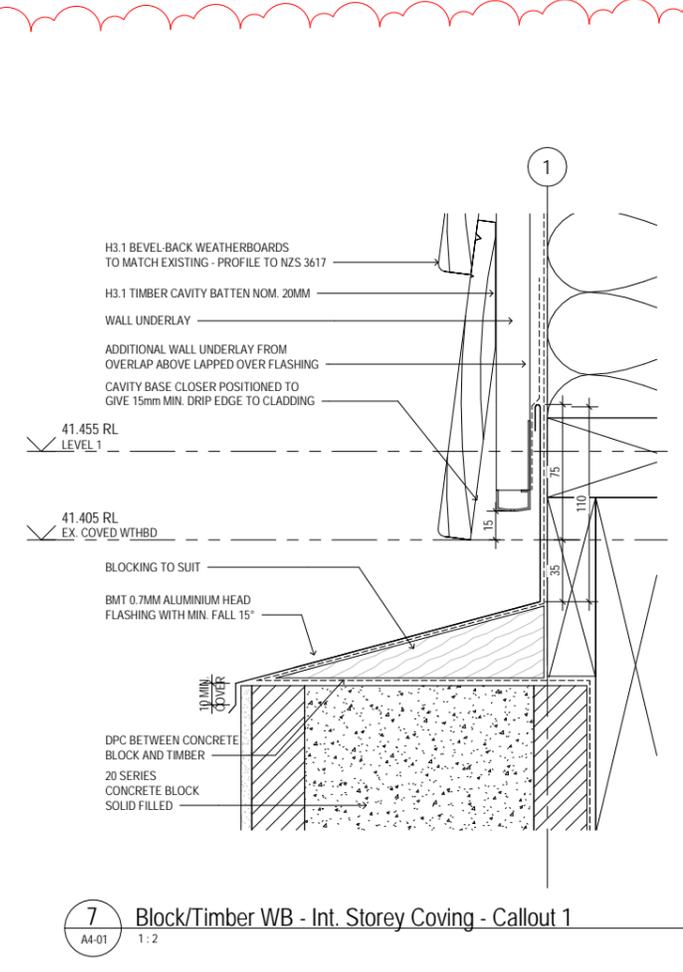
Issue	Amendment	Date
1	FOR CONSTRUCTION	22/02/18
2	BUILDING CONSENT RFI#	18/05/18
3	BUILDING CONSENT RFI#	20/06/18
4	BUILDING CONSENT RFI#	28/06/18



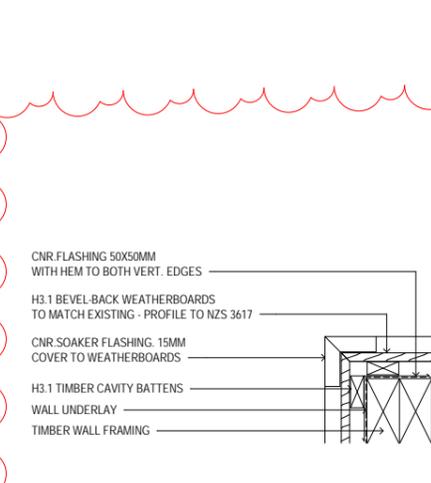
4 Block / Timber WB - Int. Storey Coving
A2-02 1:5



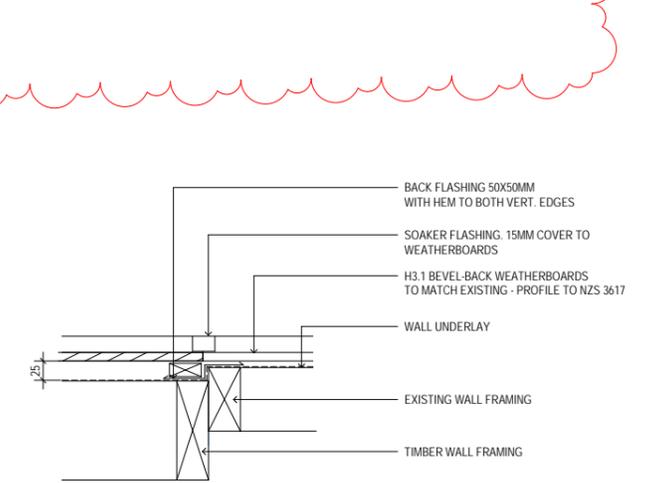
8 /Brick Veneer/Timber WB - Int. Storey Coving
1:5



7 Block/Timber WB - Int. Storey Coving - Callout 1
A4-01 1:2



5 Timber WB - Ext. Cnr
1:5



6 Timber WB - Extg/New
1:5

checked _____ scale (A1)As (A3) 1/2 A1
 drawn _____ project no. 1601
 Author _____
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project Maskell Street
 drawing Weatherboard details
 28/06/2018 4:41:48 p.m.
 drawing no. _____ issue _____
A4-01 4

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 Auckland 1740, New Zealand
 T (64 9) 948 8888
 auckland@spacedivision.com
 www.spacedivision.com

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