

NOTES:

Site Plan Notes:

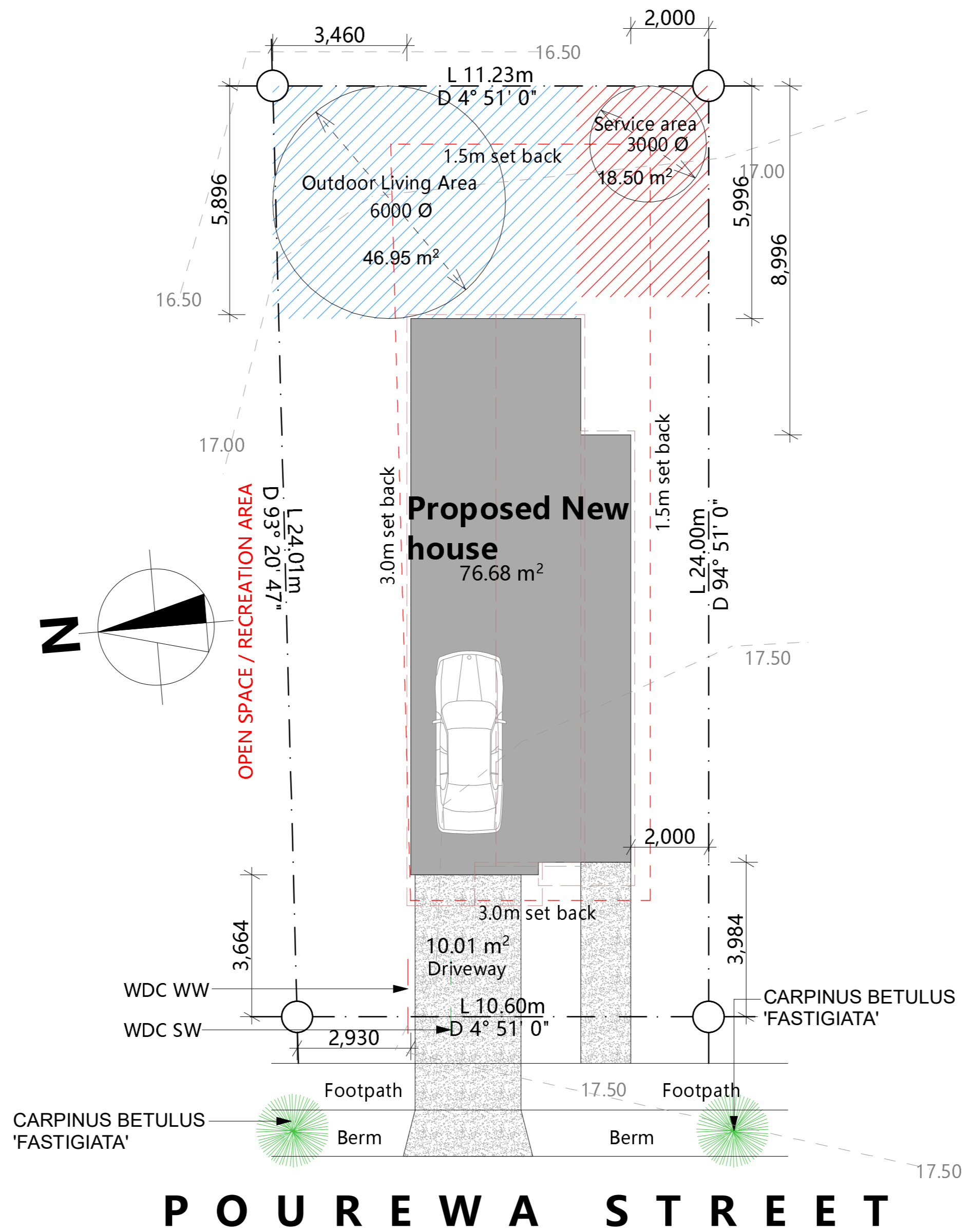
Legal Description

Street: 38 Pourewa street
 Lot: 92
 DPS: 546929
 Site Area: 262.00 m²
 Floor Area: 76.68 m²
 Site Coverage: 29.2%
 Driveway: 10.01m²
 Permeable Surface: (262-76.68-10.01)/262=66.9%
 Wind Zone: H
 Wind Region: A
 Earthquake Zone: Zone 1
 Exposure Zone: Zone B
 Climate Zone: Zone 2
 Zone: Residential Zone
 Precinct: High Density

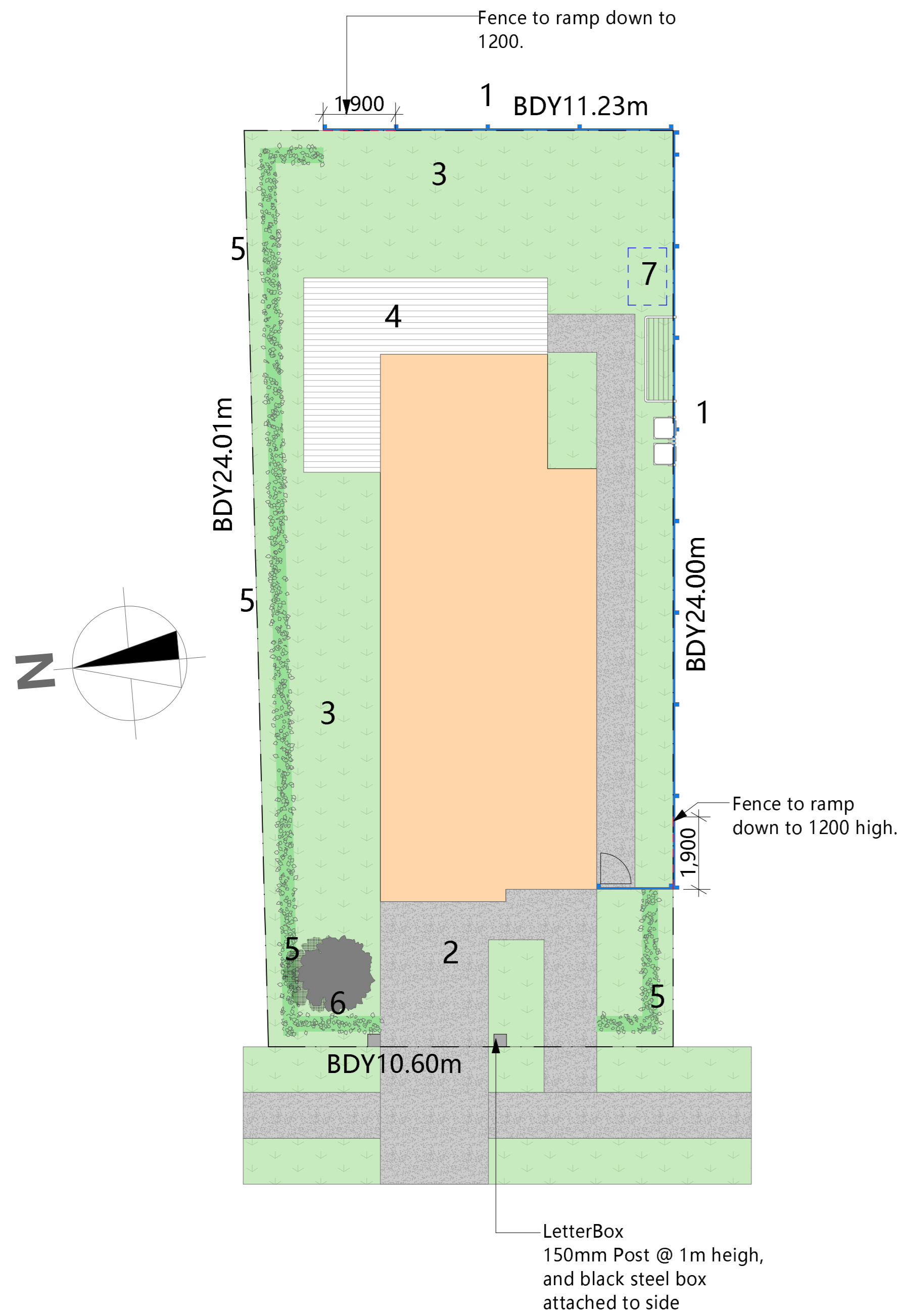
- 1 Contractor to double check datum and all levels.
- 2 Refer to survey plan for accurate contours.
- 3 Drain layer to locate connection on site before commencing works.
- 4 Sand pad refer to attached geotech report by engineer.
- 6 All site dimensions are to outside edge of slab.
- 7 All works to comply with current NZS-3604:2011 & NZBC.
- 8 Overall frame or slab dimension to allow for 6mm bottom plate overhang.
- 9 Site fence required during the construction to comply with NZBC F5.

Floor Area:

Ground Floor:	76.68m ²
First floor:	64.76m ²
	141.44m ²

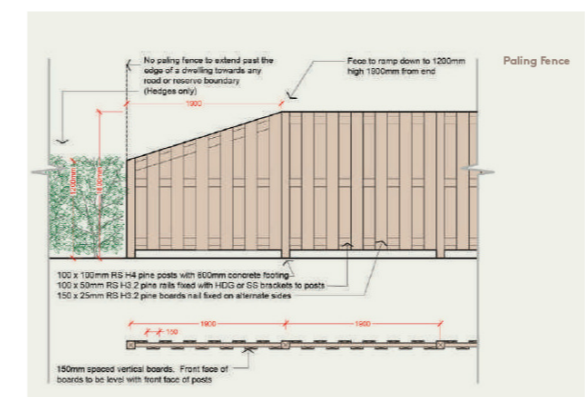


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CLIENT LOT 92 38 POUTREWA STREET	
Site Plan	
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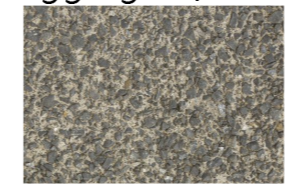


1 1.8m privacy timber fence at backyard

- Vertical timber paling fencing to a finished height of 1.8m above existing ground level is to be erected on each common boundary to a residential lot. Fencing is to be as per the detail below. Existing ground level means ground level at the time of title issue.



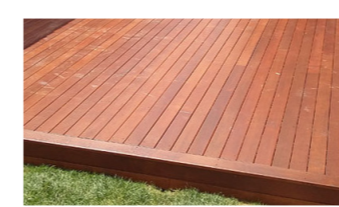
2 Concrete (Exposed Aggregate)



3 Lawn area



4 Deck



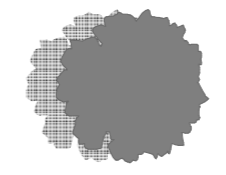
5 Hedge plants(Griselinia littoralis)

- All common boundaries with a road, access lot, reserve or residential lot where paling fencing is not permitted must be planted with a hedge offset 400mm inside the boundary.
- Hedge plants are to be a minimum of 1000mm high at the time of planting and a maximum of 600mm apart.
- Hedging is to be clipped and maintained to a height of 1200-1800mm.



6 Magnolia Tree(Min PB150 or 2m+)

- Trees are to be at least 2.5m in height at time of planting.
- No trees over 4m are allowed within 2m of a neighbouring residential lot.



7 Garden sheds or other structures over 1.8m in height are only permitted with prior written approval from Lakeside Developments (Only Potential Location)

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Site Landscaping Plan	
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Floor Plan Notes:

- 1 All works to comply with NZS 3604:2011 and NZBC
- 2 Do Not scale off drawing.
- 3 Contractor shall verify and be responsible for all dimensions on site.
- 4 Architects to be notified of any variation between site dimensions and those on plans.
- 5 These drawings remain the property of J&J Architecture Ltd. And Should not be copied in any form or passed on to a third party without prior written consent.
- 6 Kitchen facilities to comply with NZBC G3/AS1.
- 7 Laundry facilities to comply with NZBC G2/AS1.
- 8 All wet area must to comply with NZBC E3/AS1 and concrete tile over all.
- 9 External Moisture to comply with NZBC E2/AS1
- 10 Internal Moisture to comply with NZBC E3/AS1
- 11 STUDS & STUD HEIGHTS:
 - All walls to be 90x45 SG8 studs @ 600 crs (245mm stud height).
 - All bottom plates to be H1.2 fixed with LUMBERLOK BOTTOM PLATE FIXINGS anchor in galv mild steel.
- 12 All showers to be glass panel with concrete tiles.
- 13 All internal wall linings to be 10mm GIB standard, and ceiling to be 13mm GIB standard over 70x35mm ceiling batten. All wet area to be 10mm GIB AQUALINE.
- 14 All windows and doors to be aluminium joinery, and it have to be comply with NZS 4223:part3:2016 for safety glazing and comply with NZBC E2/AS1.
- 15 All ventilation to be comply with G4/AS1 & AS1668.
- 16 All internal door to be 1980mm height.
- 17 All Ceiling batten need to be 70x35 H1.2 @ 600 crs with 13mm Gib, or @ 400 crs with 10mm Gib.

Insulation

90 Frame External Walls:
R2.2 PINK BATTES
 Trusses Roof Area:
R3.2 PINK BATTES

Meter Box:
Kingspan KS1000RW

Timber Treatment

Timber	Treatment
Wall Frame	H1.2
Wet Area Wall Frame	H3.2
Trusses	H1.2

Finishes

Skirting: 60x10 PINE SINGLE BEVEL
 Architrave: 60x10 PINE SINGLE BEVEL
 Scotia: 75 Gib Cove

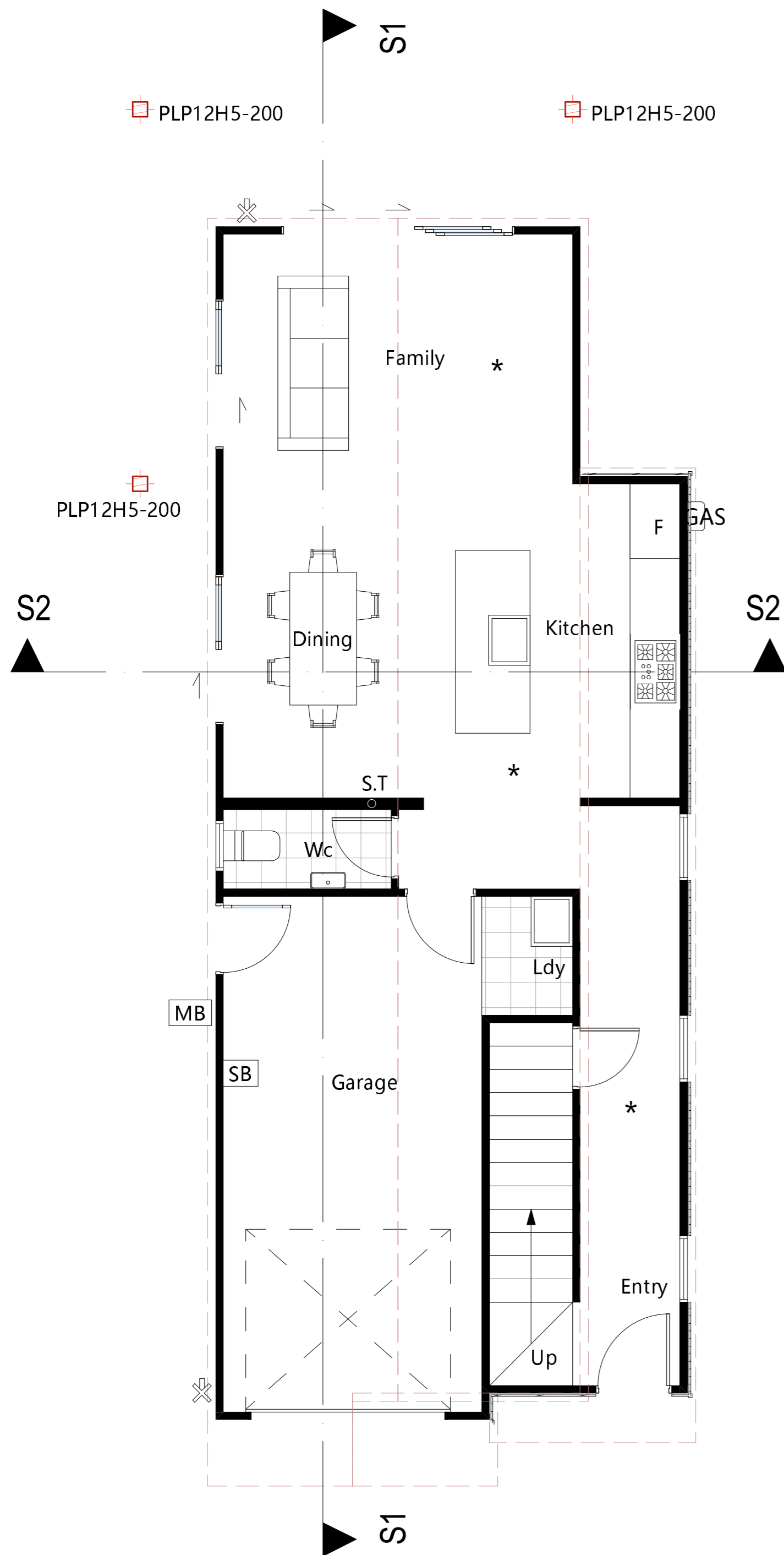
Wet Area

ARDEX Applicator: Guang Zhou-0462
 Wet area to be waterproofing with 'ARDEX' membrane under tile area. Install waterproof membranes to: 1800mm above shower, 300mm minimum up the wall behind the cavity, and 1500mm above the F.F.L.

KEY :

Smoke Detector	*
Out door Tap	⊗
Switch Board	[SB]
Meter Board	[MB]
Ceiling Access	[M/H]
Rinnai Gas HW System	[GAS]
Air Conditioner Outlet	[AIR]
Exhaust Fan	☼

Flow rates
 a) 25 L/s for showers and baths, and
 b) 50 L/s for cooktops.



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Ground Floor Plan	
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NOTES:

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Trusses Roof Area:
R3.2 PINK BATTS

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Timber	Treatment
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Wet Area Wall Frame	H3.2
Trusses	H1.2

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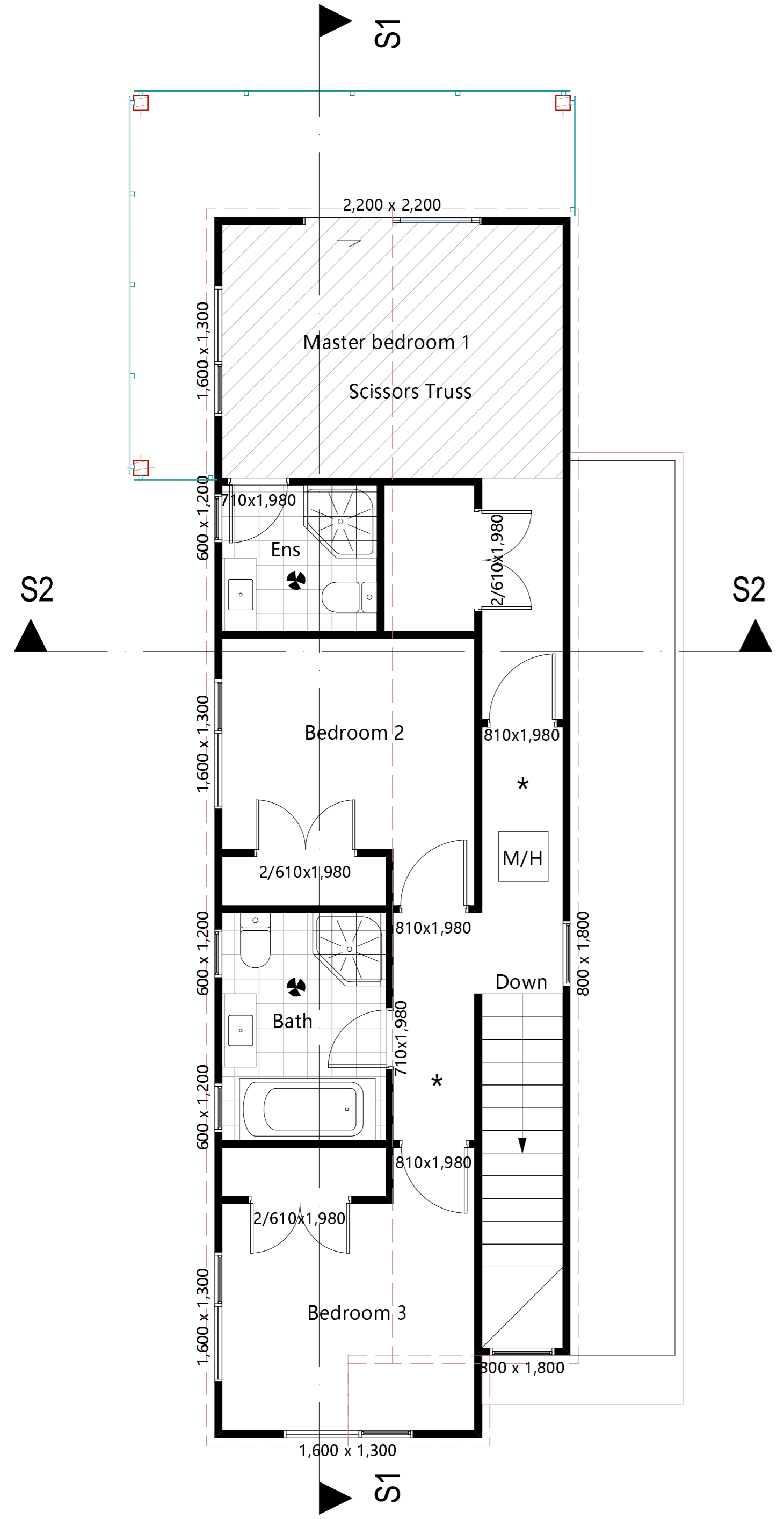
Wet Area

ARDEX-Applicator- Guang Zhou-0462
 Wet area to be waterproofing with 'ARDEX' membrane under tile area. Inst all waterproof membranes to 1800mm above shower, 300mm minimum up the wall behind the cavity, and 1500mm above the F.F.L.

KEY :

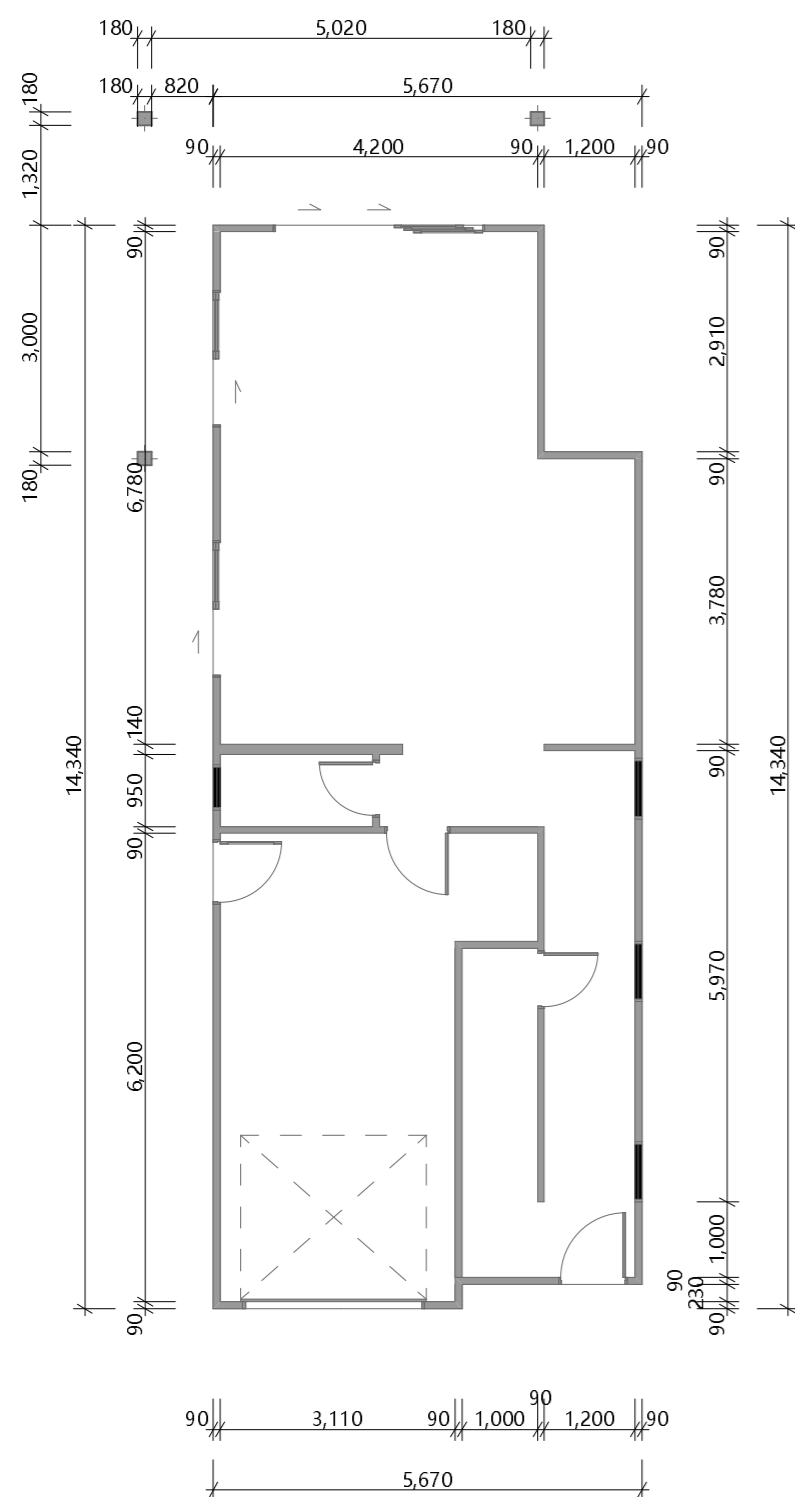
Smoke Detector	*
Out door Tap	⊗
Switch Board	SB
Meter Board	MB
Ceiling Access	M/H
Rinnai Gas HW System	GAS
Air Conditioner Outlet	AIR
Exhaust Fan	☼

Flow rates
 a) 25 L/s for showers and baths, and
 b) 50 L/s for cooktops.

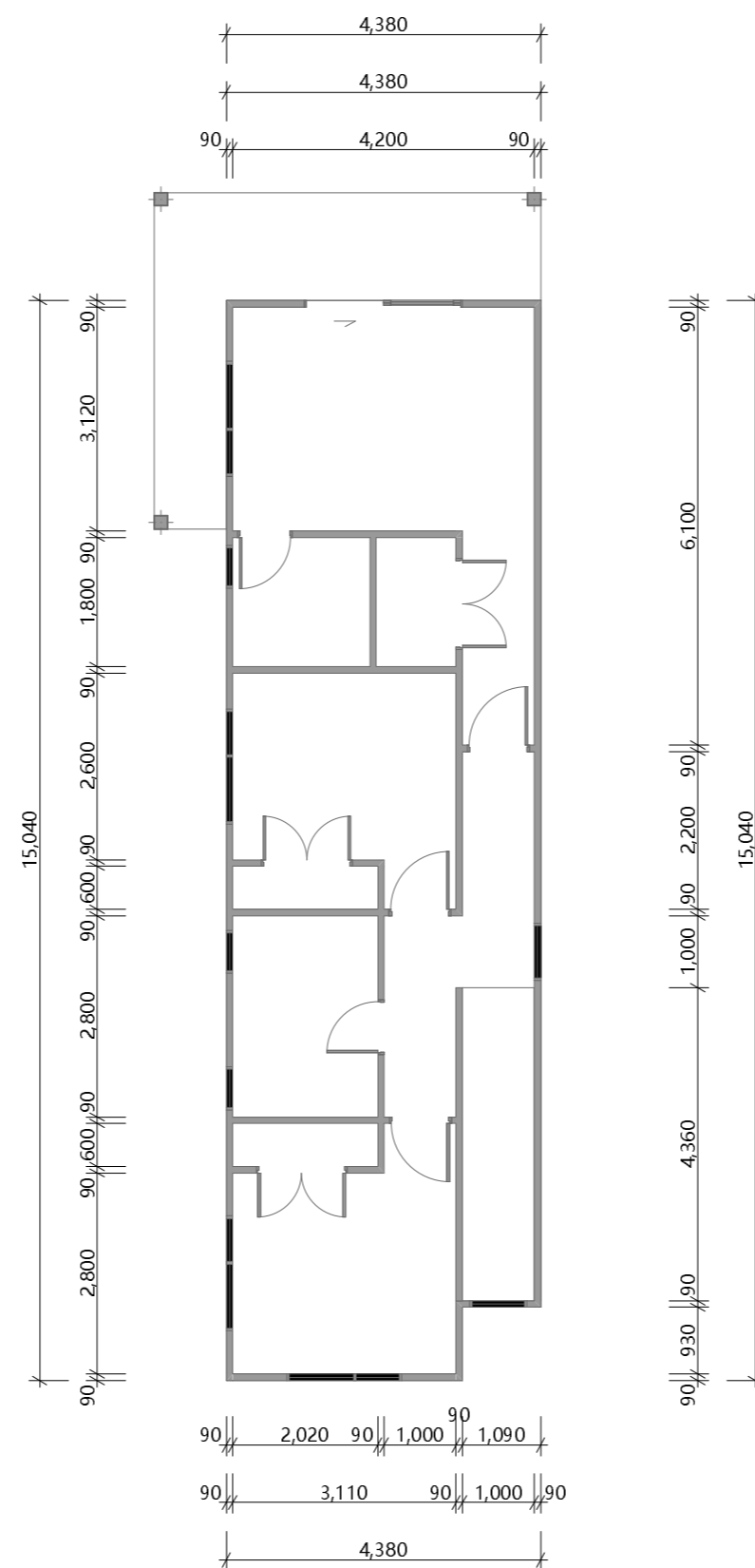


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	Frist Floor Plan
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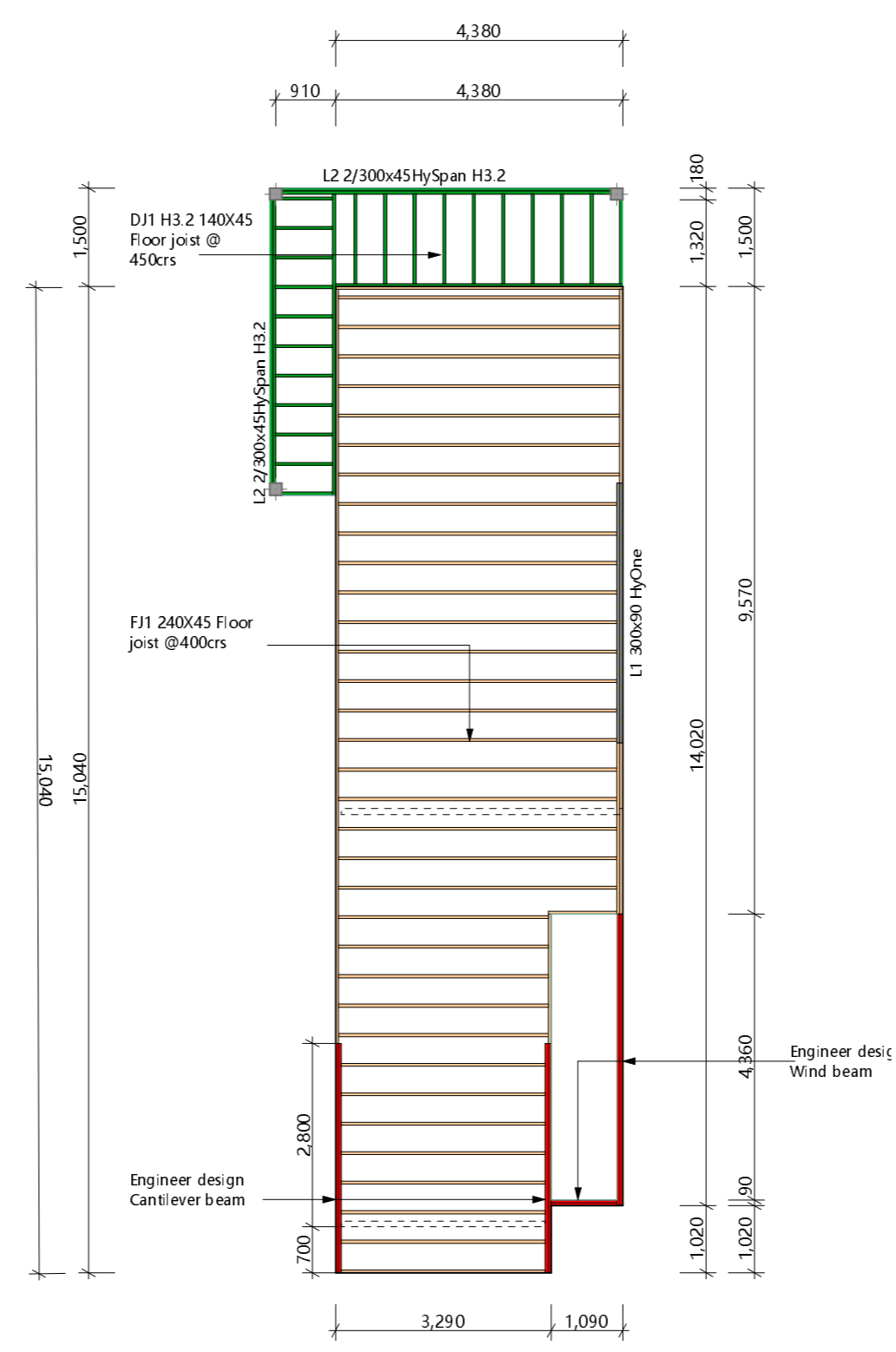
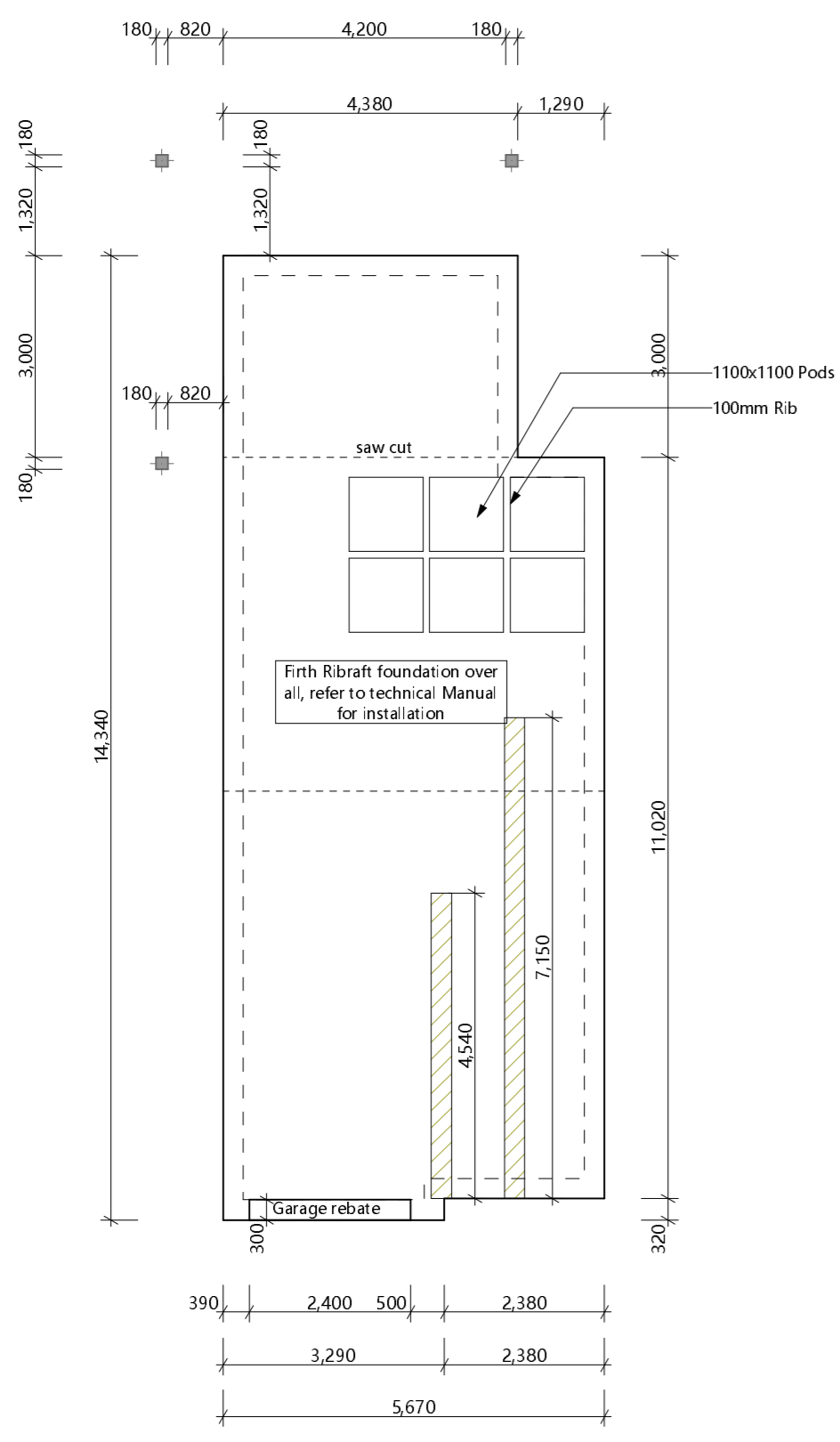
2 Ground Floor Framing Plan 1:100



1 First Floor Framing plan 1:100

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Floor Dim Plan	
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- Foundation Plan Notes:**
- 1 Building setout and floor levels to be established by a registered surveyor.
 - 2 All works to be comply with NZS: 3604 2011. Sand pad refer to engineer Goetec report.
 - 3 All internal load bearing wall location refer to percut and turss manufacturer design layout for point load. And slab thickenings to comply with NZS:3604.2011
 - 4 Reinforcing mesh to be 2.27kg/m2 of GRADE SE62 fabric as per AS/NZS 4671.
 - 5 100mm concrete floor slab with 665 mesh on Thermathene Back (250um) DPM over all compacted hardfill.



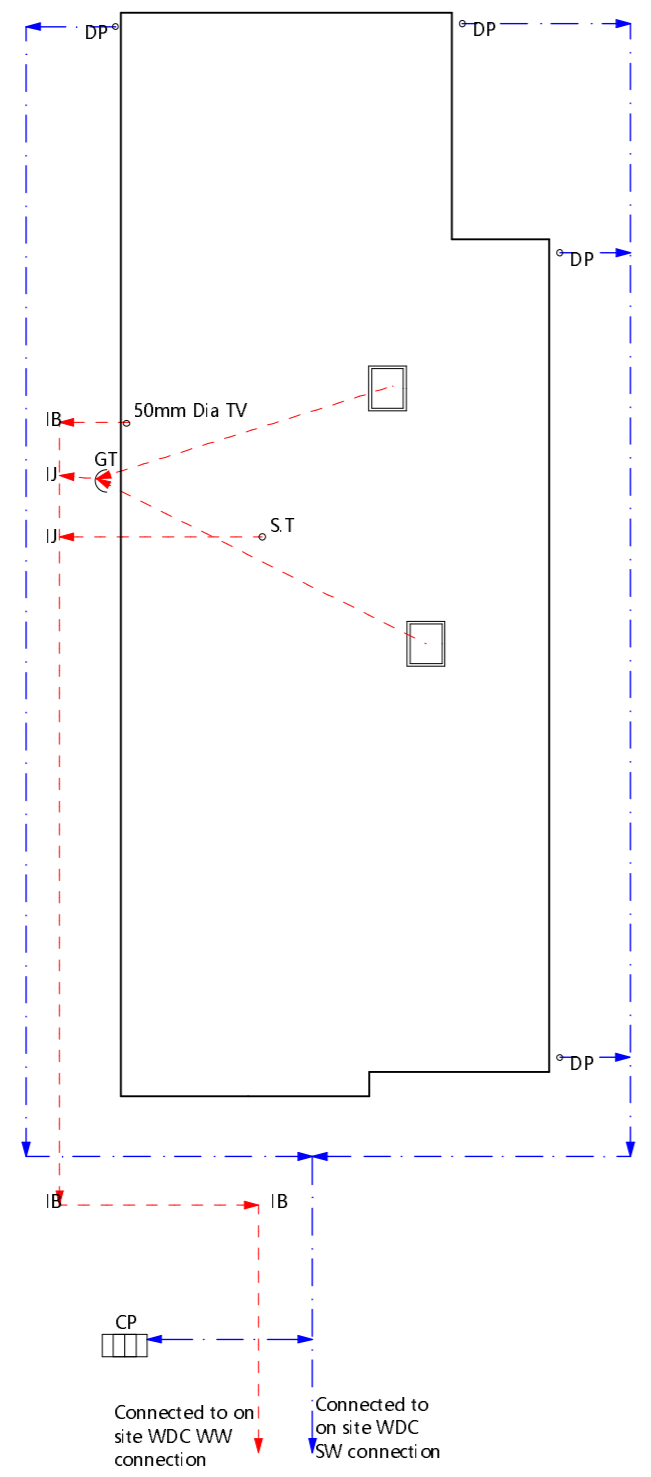
1 Ground Floor Foundation Plan 1:100

3 First Floor Midfloor Plan 1:100

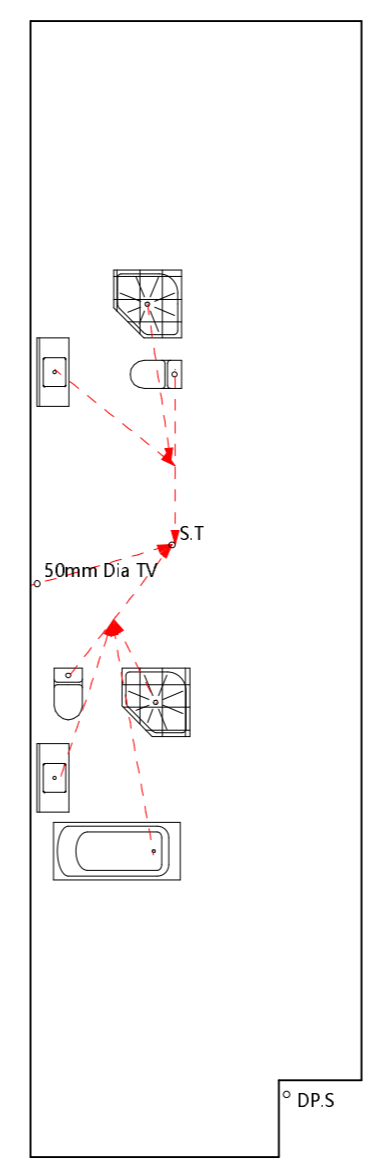
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Ground Floor Foundation Plan	
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NOTES:

- Drainage Plan Notes:**
- All drainage is to comply with NZS/AS3500 & NZBC
 - Confirm location & position of all drains on site
 - Pipe junctions 450 or swept bends.
 - All downpipes 80mm dia sized to table NZBC E1 surface water and stormwater drainage laid as per E1/AS1
 - Ensure each spreader service max 25m² roof area
 - Hot and cold water supplies are to be run in dux secura gold piping (compliant to AS/NZS 4020) and installed to comply to G12/AS1.
 - All taps, toilets and showers to be used low flow fixtures at least a 3 star rating in accordance with the New Zealand water efficiency labelling Scheme.



1 Ground Floor Plumbing Plan 1:100



3 First Floor Plumbing Plan 1:100

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Ground Floor Plumbing Plan	
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- Roof Notes:**
- 1 Each spreader to drain 25m² of roof area only.
 - 2 Refer to precut trusses layout and specification.
 - 3 All Ceiling batten need to be 70x35 H1.2 @ 600 crs with 13mm Gib, or @ 400 crs with 10mm Gib.

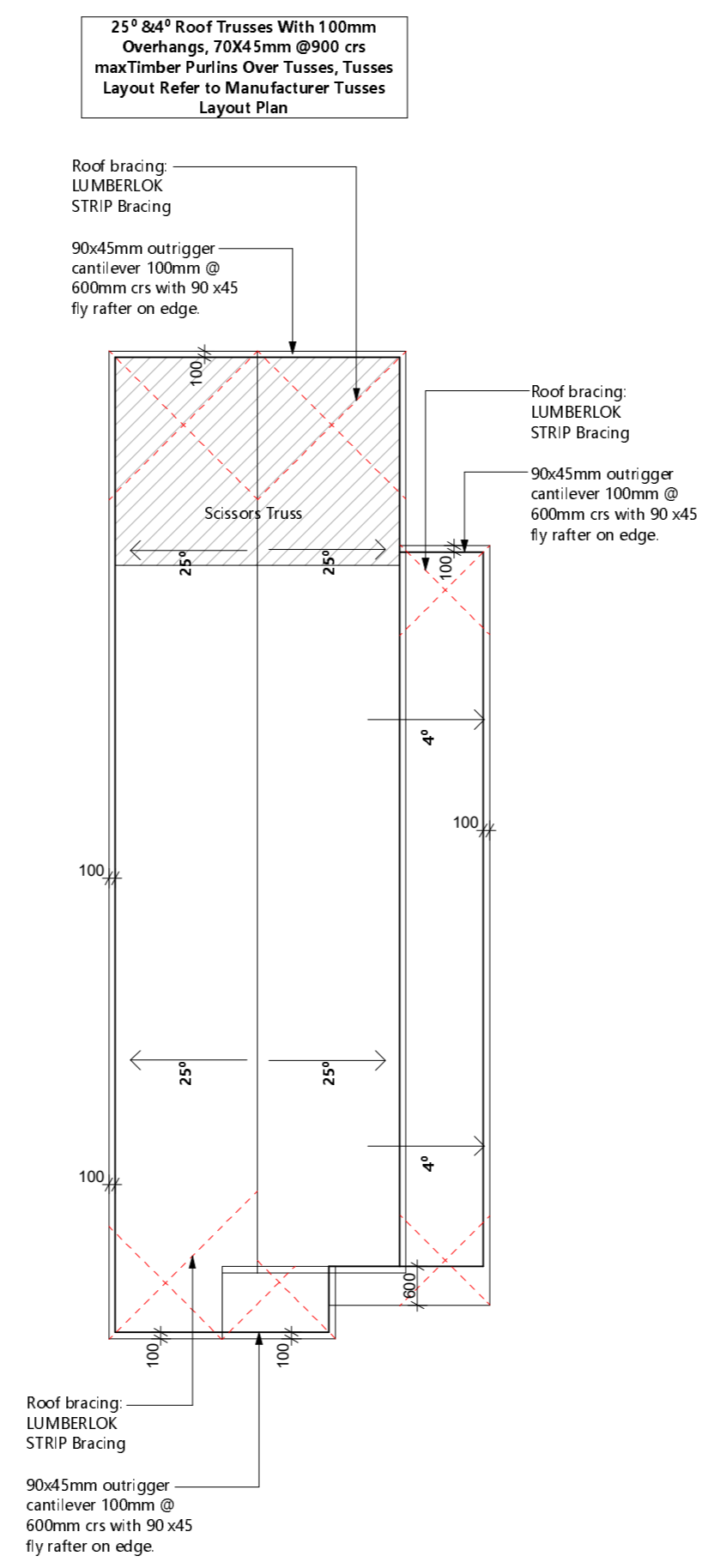
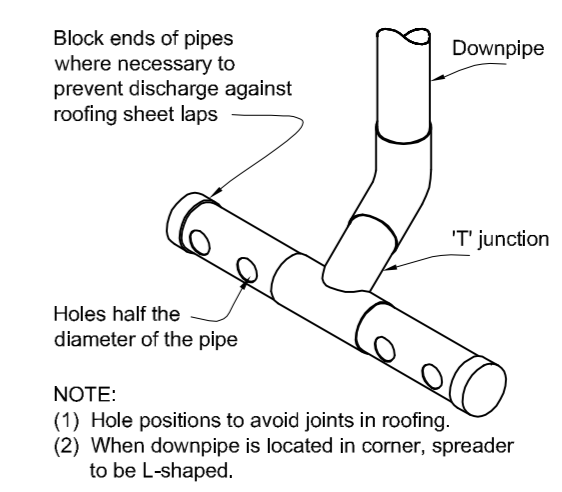
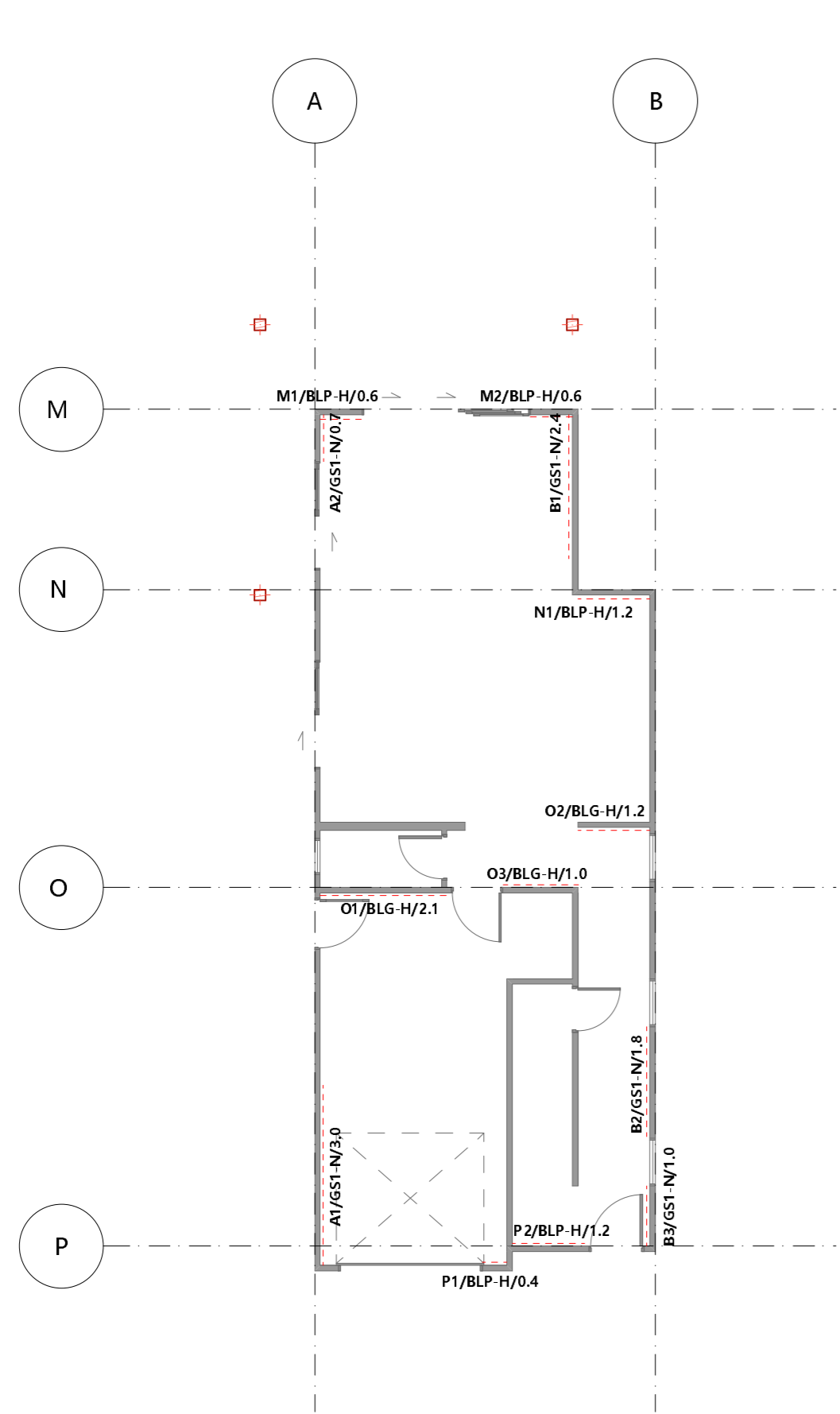
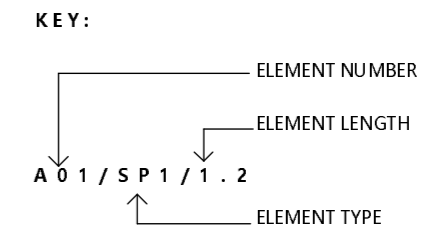


Figure 20: Spreader for roof discharge
 Paragraph 8.1.6

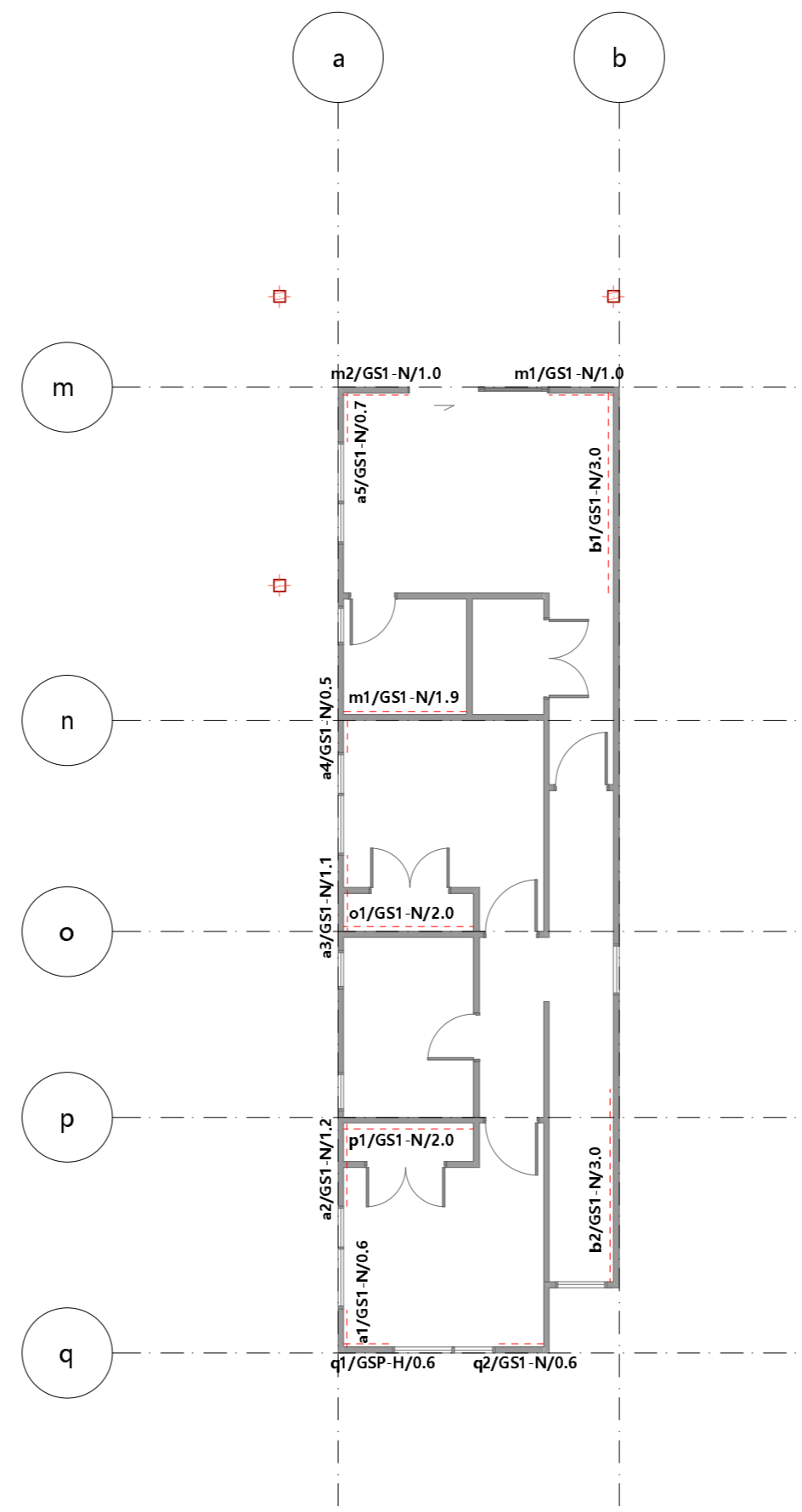


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	Roof Plan
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Bracing Plan Notes:
 All bracing elements to comply with NZBC B2, Durability requirement not less than 50 years.
 All plywood bracing elements to be H3.2 TREATED



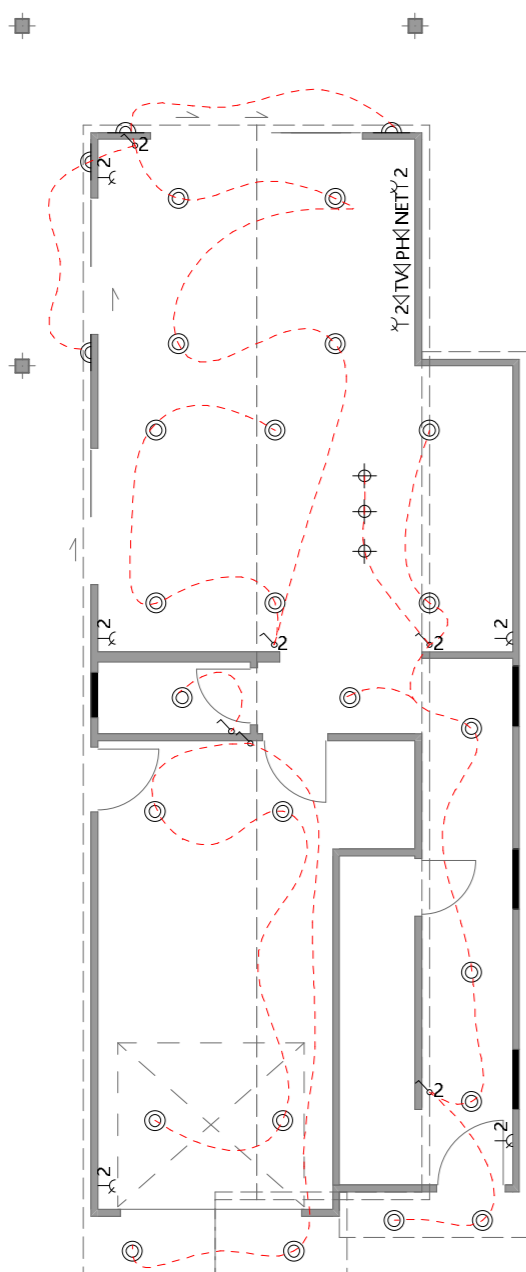
1 Ground Floor Bracing Plan 1:100



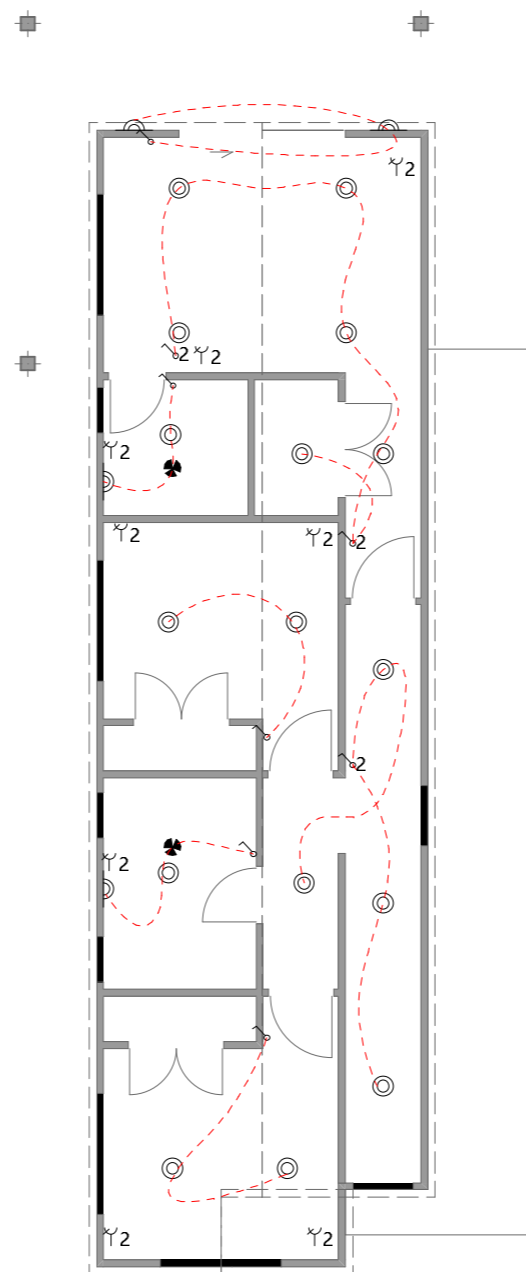
3 First Floor Bracing Plan 1:100

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Ground Floor Bracing Plan	
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- Electrical Notes:**
1. Layout to be confirmed with client prior to first fix
 2. Extract fans to bathrooms and rangehood to kitchen are to be vented to the exterior, through the soffit.
 3. Provide wiring to infinity gas system
 4. CA 80 and CA 135 rated downlight to be used.



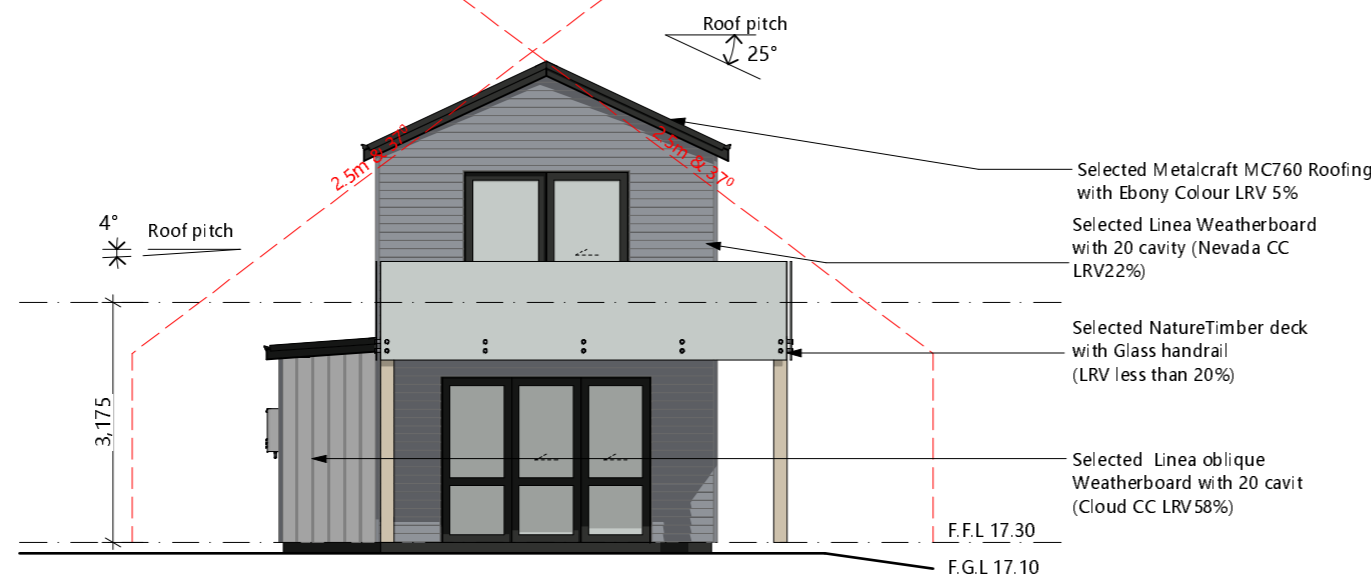
1 Ground Floor Electrical Plan 1:100



3 First Floor Electrical Plan 1:100

- KEY :**
- ⊕ Pendant Light
 - ⊙ LED Recessed Downlight
 - ◐ LED Recessed Wall Light
 - ⌋ Light Switch
 - ⌋⌋ 2-Way Light Switch
 - Y2 Double Power Point
 - <TV Television
 - <PH Phone Jack
 - <NET Internet Jack
 - MB Meter Board
 - SB Switch Board
 - ☼ Extractor Fan

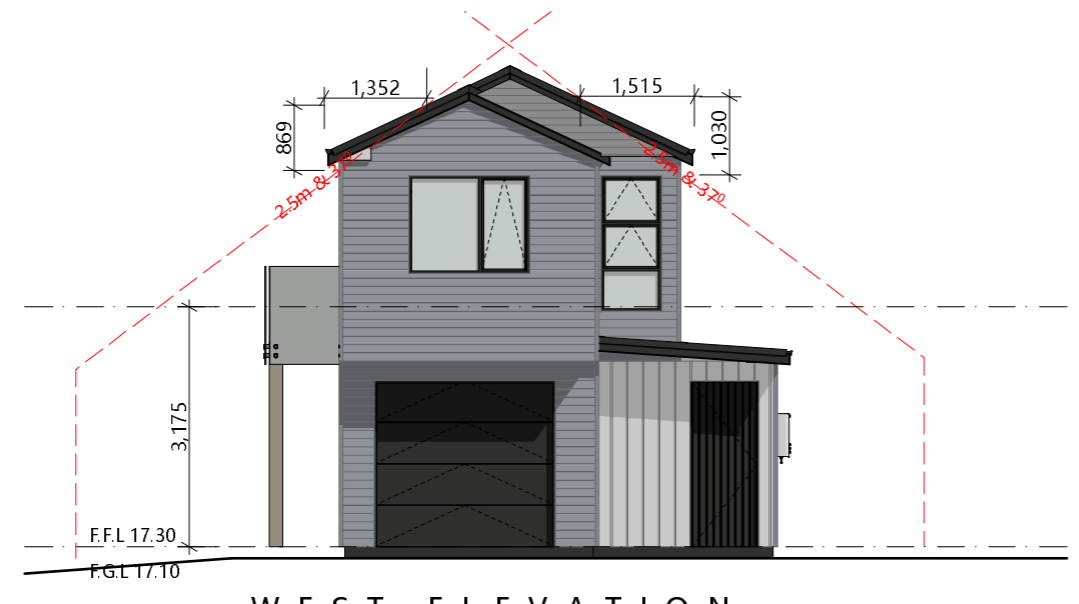
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EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION

COLOUR



Resene Ebony



Resene Nevada



Resene cloud

Total colour code: N34-005-272
 Chart colour code: 1GR51
 Tone: Mid/Mid grey
 Colour palette: Neutral
 RGB: 49 51 55
 Hex values: #313337
 LAB: 21.19 0.12 -2.82
 CMYK: 11 7 0 78
 Approx. LRV: 8

Total colour code: N54-007-200
 Chart colour code: 18B23
 Tone: Light
 Colour palette: Neutral
 RGB: 102 111 111
 Hex values: #666F6F
 LAB: 46.10 -3.40 -1.17
 CMYK: 8 0 0 56
 Approx. LRV: 22

Total colour code: Y81-011-082
 Chart colour code: 06A03
 Tone: White
 Colour palette: Yellow
 RGB: 194 188 177
 Hex values: #C2BCB1
 LAB: 76.44 0.17 6.31
 CMYK: 0 3 9 24
 Approx. LRV: 58

J&J Architecture Ltd
 NUMBER: 0210312191
 ADDRESS: P O Box 21209, Rototuna, Hamilton
 EMAIL: jeff@jjarchi.co.nz
DO NOT SCALE DIMENSIONS. Confirm for every elevation. All dimensions on site before commencing any work. We do not take any responsibility for any discrepancies. All works shown to be verified with the relevant authorities. All drawings are the property of J&J Architecture Ltd. All rights reserved. All drawings are subject to the relevant authorities and their consent. All drawings are subject to the relevant authorities and their consent.

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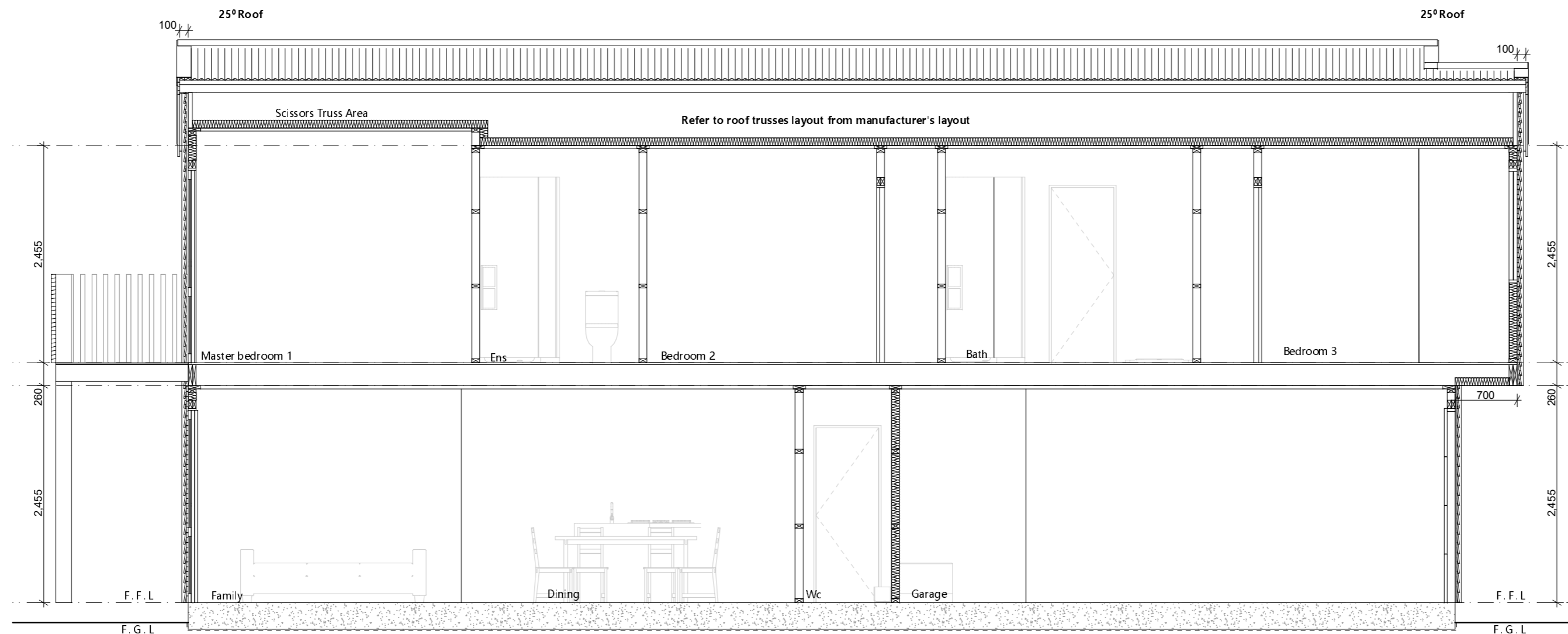
Cladding Notes:

- Selected Linea WEATHERBOARD with 20mm cavity over THERMAKRAFT WATERGATE Plus 295' building paper. Which show on the elevation.
- Selected Linea Oblique WEATHERBOARD with 20mm cavity over THERMAKRAFT WATERGATE Plus 295' building paper. Which show on the elevation.
- Selected Colorsteel Longrun Roofing over Thermakraft Covertek 401' roof underlay with 25' & 4" roof pitch. Which show on the elevation.
- Selected COLORSTEEL 1/4 ROUND GUTTER over COLORSTEEL FASCIA. With 80mm Dia downpipes Which show on the elevation.
- Refer to window and door schedule for joinery tapes and size.

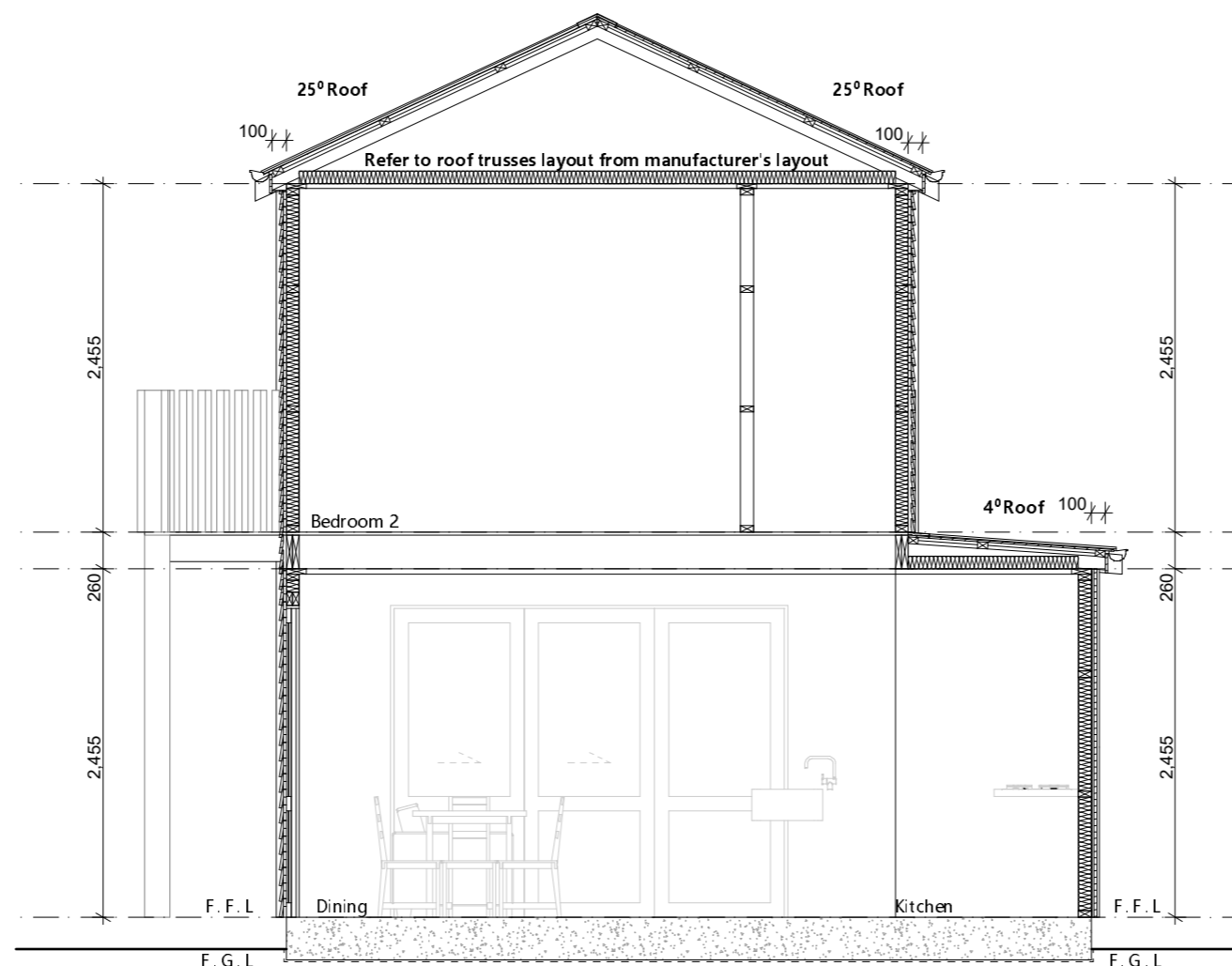
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	Elevations
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SECTION 1



SECTION 2

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